

# MANASQUAN PLANNING BOARD MEETING AGENDA

MARCH 07, 2023 7:00 PM – TUESDAY

Please take notice that the Manasquan Planning Board will convene an in person meeting on March 07, 2023 7:00 PM at Borough Hall, Second Floor, 201 East Main Street, Manasquan, New Jersey. As a courtesy to the public this meeting may be attended via zoom. If the zoom meeting fails or gets disconnected the in-person meeting will continue without the zoom participants. You can access the meeting through the Zoom App by following the link below for your computer or phone.

## Join Zoom Meeting

<https://us06web.zoom.us/j/8243299920?pwd=QUxNUjlGbkNLQS9TRVBIWHVtbUd3Zz09>

OR

Tel – 1-646 876 9923 US (New York)

Meeting ID: 824 329 9920

Passcode: 365120

## PUBLIC MEETING

Salute to the Flag  
Roll Call  
Sunshine Law Announcement

## OLD/NEW BUSINESS

1. Vouchers - Approval
2. Regular Meeting Minutes - January 10, 2023
3. Special Meeting Minutes - January 24, 2023
4. Regular Meeting Minutes - February 7, 2023

## RESOLUTION

5. #14-2023 Sanquini, Marilyn & Peter - 130 Glimmer Glass Circle - Block 136.01 Lot 6 - Application #16-2022
6. #15-2023 Gaszynski, Donna & Ray - 314 E. Main Street - Block 113 Lot 6 - Application #19-2022
7. #16-2023 Liskowitz, Stephanie & John - 126 Morris Avenue - Block 73 Lot 62 & 95 -Application #20-2022

## APPLICATION

8. #01-2023 North Potter Partners, LLC - 66 North Potter - Block 162 Lot 1 & 2
9. #03-2023 Hannafey, Eugene & Valerie - 10 Minnesink Road - Block 16 Lot 5 (being re-scheduled)

## OTHER BUSINESS

Comments from individual board members

10. Cancel March 21, 2023 Special Meeting

## CLOSED SESSION

11. Litigation - Hohenstein v, Planning Board of The Borough of Manasquan et al.

## ADJOURNMENT

B.O.M. RECEIVED  
M&G \_\_\_\_\_ ADM \_\_\_\_\_  
CLERK \_\_\_\_\_ CFO \_\_\_\_\_

JAN 24 2023

DPW \_\_\_\_\_ CONST \_\_\_\_\_  
PD \_\_\_\_\_ OTHER \_\_\_\_\_

January 20, 2023

Barbara Ilaria, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1990  
Major Subdivision – North Potter Partners, LLC  
Block 162, Lots 1 & 2  
66 North Potter Avenue  
R-2 - Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Preliminary and Final Major Subdivision Plan, prepared by Elizabeth Waterbury, PE, PP, of E.M. Waterbury & Associates, P.A., dated October 5, 2022, last revised December 29, 2022.
2. Major Subdivision Plat, prepared by Paul Lynch, PLS, dated December 9, 2022.
3. Topographic Survey, prepared by Paul Lynch, PLS, dated April 4, 2022.
4. Lot Frontage averaging report, prepared by Paul Lynch, PLS, dated November 2, 2022.

Existing Lot 1 contains 14,905 square feet with frontage on North Potter Avenue and Ocean Avenue and Existing Lot 2 contains 12,090 square feet with frontage on Ocean Avenue. Both lots are located in the R-2 - Residential Zone. With this application, the applicant intends to create three lots, proposed Lot 1.02, containing 5,631 square feet with frontage on North Potter Avenue and Ocean Avenue, proposed lot 1.03 containing 9,274 square feet with frontage on North Potter Avenue, and proposed Lot 2.02 containing 12,090 square feet with frontage on Ocean Avenue. The application is deemed complete as of January 20, 2023.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 - Residential Zone, where the proposed residential lots are permitted.

Re: Boro File No. MSPB-R1990  
Major Subdivision – North Potter Partners, LLC  
Block 162, Lots 1,2

January 20, 2023  
Sheet 2

2. The following bulk ('c') variance is required as part of this application:
  - a. A minimum rear yard setback of 20 feet is required, whereas a setback of 5 feet is proposed for Lot 1.03.
3. The major subdivision plans show what appears to be conceptual layouts for potential dwelling sizes on the proposed lots. The dwelling on proposed Lot 1.03 requires a rear yard setback variance with the proposed configuration as indicated above. As the building layouts are conceptual, plot plans including the exact building layout, grading, and drainage recharge systems for each of the individual lots, will be required.
4. The applicant's surveyor has submitted a setback averaging calculations for the front yard setback for proposed Lot 1.03 which decreases the required setback to 15.5 feet. The applicant proposes a 15.5' front setback on Lot 1.03 and thus a variance for the normally required 25' setback is not required for the proposed layout.
5. The applicant's engineer should be prepared to explain the limits of existing Lots 1.01 and 2.01 at the rear of the existing properties and the intent for these lots with the subdivision as they partially extend beyond the waterline. It appears these lots should be consolidated with proposed Lots 1.03 and 2.02 as they are landlocked and non-conforming.
6. The applicant should be aware that if any future construction on either of the new lots does not meet the zoning requirements (setbacks, coverage, etc.), a separate application to the Board will be required.
7. The plans indicate that all existing improvements will be removed as part of the application. I suggest that all structures be removed prior to the perfection of the subdivision, otherwise additional variances would be required.
8. The property is located within two flood zones (AE 9 and AE 10). The proposed dwellings must meet the BFE of the zone in which they are located.
9. As this is technically a major subdivision, the subdivision must be filed by map and not by deed. There are a number of items which must be added to the plan, including the benchmark, centerline and right-of-way half width for North Potter Avenue and Ocean Avenue, all necessary certifications, and coordinate points, for the plan to meet the requirements of the New Jersey Title Recordation Act (Map Filing Law). All necessary items must be added to the plan prior to submission for signing of the final plat.
10. Monuments must be set at the intersection of the proposed lot lines and the right-of-way lines and shown on the subdivision plat. I suggest all proposed monuments be set prior to the map being signed by the Board. The applicant should indicate their intent of when the monument will be set. If it is proposed to be set after the signing of the subdivision plat, a bond must be posted with the Borough.
11. All applicable road opening permits from the Borough and must be obtained for the new utility connections, proposed curb and driveway aprons. The limits of pavement repair for the proposed curb and utility connections should be shown on the plan.




Re: Boro File No. MSPB-R1990  
Major Subdivision – North Potter Partners, LLC  
Block 162, Lots 1,2

January 20, 2023  
Sheet 3

12. The proposed lot numbers should be reviewed and approved by the tax office.
13. Any trees to be removed as part of the application should be indicated on the plan.
14. All applicable outside approvals must be obtained by the applicant. These may include, but not be limited to the following:
  - a. Monmouth County Planning Board
  - b. NJDEP – LOI/FHA

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
Elizabeth Waterbury, PE, PP  
E.M. Waterbury & Associates, 530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739  
North Potter Partners  
207 Ludlow Avenue, Spring Lake, NJ 07762

BOROUGH HALL  
201 EAST MAIN STREET

EDWARD G. DONOVAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

732-223-0544  
Fax 732-223-1300

FRANK F. DiROMA  
Supervisor of Code Enforcement

STEVEN J. WINTERS  
Construction Official

APPLICATION TO THE PLANNING BOARD

\*Applicant's Name: North Potter Partners, LLC

\*Applicant's Address: 207 Ludlow Ave, Springlake, NJ 07762

\*Telephone Number: Home: N/A Cell: 908-308-4325 (732-221-4863)

\*e-mail Address: garyciliberto@gmail.com

\*Property Location: 66 North Potter

\*Block: 162 Lot: 1,2

\*Type of Application: Major

Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval

\*Date of Zoning Officer's Denial Letter: October 13, 2022

Attach Zoning Permit Application

\*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

\*Is the Applicant the Landowner? Yes

\*Does the Applicant own any adjoining land? no

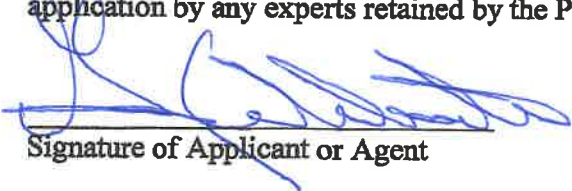
\*Are the property taxes paid to date? Yes

\*Have there been any previous applications to the Planning Board concerning this property? no  
(Attach copy)

\*\*Are there any Deed Restrictions, Easements, or Covenants affecting this property? no

(Attach copy)

\*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

  
Signature of Applicant or Agent

12-15-2022  
Date

06/2021

BOROUGH HALL  
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544  
Fax 732-223-1300

EDWARD G. DONOVAN  
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA  
Supervisor of Code Enforcement

THOMAS F. FLARITY  
Municipal Administrator

**BOROUGH OF MANASQUAN**  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

STEVEN J. WINTERS  
Construction Official

October 13, 2022

North Potter Partners, LLC  
207 Ludlow Avenue  
Spring Lake, NJ 07762

Re: Block: 162 Lots: 1,2 Zone: R-2  
66 North Potter Avenue

Dear Sir or Madam:

On this date we reviewed your application for the following project.

Subdivide Block 162, Lots 1&2 into three fully conforming lots in the R-2 Zone.  
(Proposed Lot 1.02 – 5,500s.f.) (Proposed Lot 1.03 – 9,800s.f.) (Proposed Lot 2-  
12,000s.f.)

Construct a single family dwelling on each of the proposed lots.

Minor subdivision plot plan prepared by Elizabeth Waterbury on October 5, 2022.

**Application denied for the following reason(s):**

Section 32.8.1 – Requires Planning Board approval for the proposed subdivision.

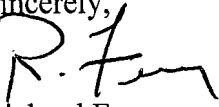
**Proposed Lot 1.03:**

Section 35-9.4 – Front Setback – 25ft. Required  
15ft. Proposed

“ - Rear Setback – 20ft. Required  
5ft. Proposed

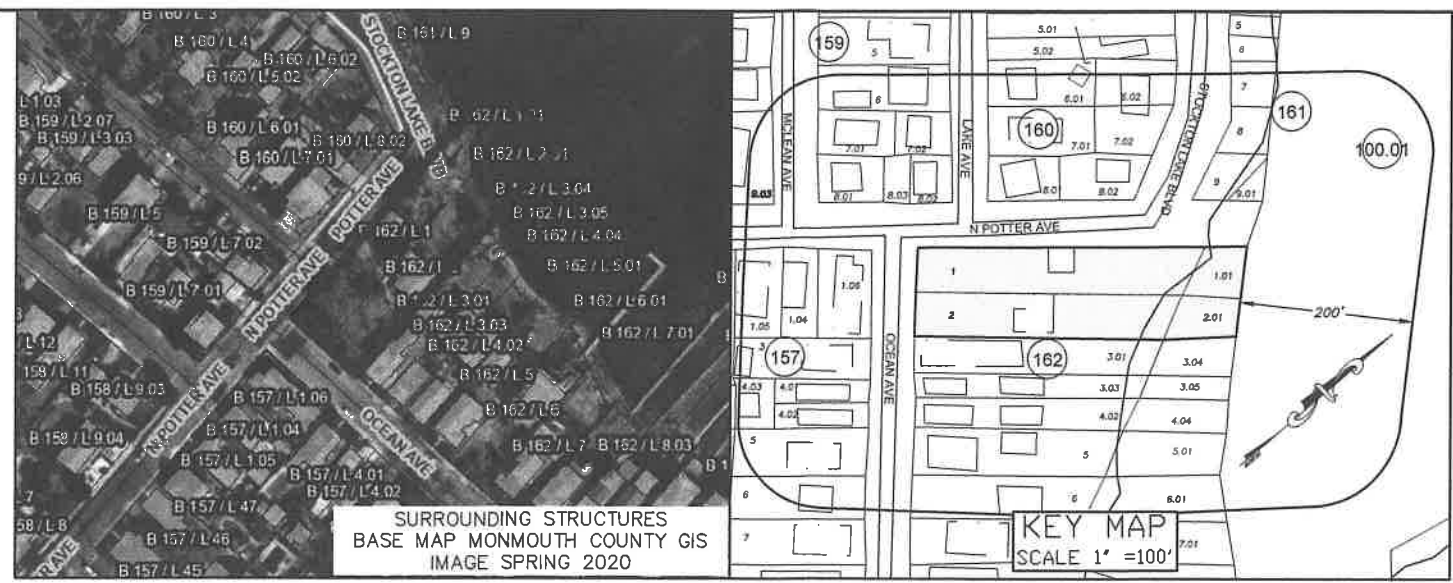
If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

A handwritten signature in black ink, appearing to read "R. Furey". The signature is written in a cursive style with a large initial "R" and a long, sweeping underline.

Richard Furey  
Zoning/Code Enforcement Officer

- GENERAL NOTES**
1. ALL STRUCTURES ABOVE AND BELOW GROUND TO BE REMOVED WITHIN THE LIMITS OF THE PROJECT.
  2. PROJECT IS SHOWN IN FLOOD ZONES AE9 AND AE10 PER PRELIMINARY FEMA FLOOD MAP 34025C0456G DATED JANUARY 31, 2014.
  3. WETLANDS SHOWN AS FLAGGED BY OTHERS. SEE SURVEY



- GENERAL NOTES**
1. UTILITY INFORMATION SHOWN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR WILL REQUEST UTILITY MARK DUTS FROM THE RESPECTIVE COMPANIES AND VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS WILL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. TEST PIT INFORMATION WILL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
  2. THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL OF THIS SET OF PLANS WILL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE 'ISSUED FOR CONSTRUCTION.'
  3. ALL WORK WILL BE DONE IN COMPLIANCE WITH THE CURRENT CONSTRUCTION STANDARDS OF THE FOLLOWING WHERE APPLICABLE:
    - A. LATEST EDITION.
    - B. CURRENT, PREVAILING MUNICIPAL & COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
    - C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS OR REQUIREMENTS.
    - D. NEW JERSEY ADMINISTRATIVE CODE TITLE 5 CHAPTER 21, 'RESIDENTIAL SITE IMPROVEMENT STANDARDS'.
  4. ONLY ORIGINAL PAPER COPIES FOR EACH PROJECT SHEET MARKED WITH AN ORIGINAL EMBOSSED SEAL OF THE SIGNING ENGINEER'S SEAL SHALL BE CONSIDERED TO BE VALID AND OR ONLY PDF COPIES OF THE PROJECT CONTAINING A VERIFIED AND CERTIFIED DIGITAL SEAL OF THE SIGNING ENGINEER'S SEAL SHALL BE CONSIDERED TO BE VALID COPIES.
  5. THIS PLAN WAS PREPARED FOR SUBMISSION TO THE BOROUGH OF MANASQUAN FOR THE PURPOSES OF A ZONING AND BUILDING PERMIT. THE COPYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, FOR OTHER THAN THE ORIGINAL PROJECT OR FOR THE ORIGINAL INTENTION, WITHOUT THE WRITTEN PERMISSION OF E.M. WATERBURY & ASSOCIATES IS PROHIBITED.

**PROJECT DESCRIPTION**

APPLICANT/ OWNER: NORTH POTTER PARTNERS LLC  
 LOCATION: LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162  
 66 OCEAN AVE, MANASQUAN, NJ

ZONE: R2

EXISTING USE: 2 LOT SINGLE FAMILY UPLAND LOTS  
 PROPOSED USE: 3 LOT SINGLE FAMILY UPLAND LOTS

BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY PREPARED BY PAUL K. LYNCH DATED APRIL 4, 2022

**OWNER/APPLICANT**

APPLICANT/ OWNER: NORTH POTTER PARTNERS LLC

**UTILITIES**

MONMOUTH COUNTY HIGHWAY DEPT 150 CENTER ST FREEHOLD, NJ 07728-2465	MONMOUTH COUNTY PLANNING BOARD HALL OF RECORDS ANNEX 1 E. MAIN ST, SECOND FLOOR FREEHOLD, NJ 07728-22732	VERIZON P.O. BOX 4833 TRENTON, NJ 08650-4833
STATE OF NEW JERSEY COMMISSIONER OF TRANSPORTATION DEPARTMENT OF TRANSPORTATION 1034 PARKWAY AVENUE TRENTON, NJ 08625-2309	NJ AMERICAN WATER COMPANY CORPORATE SECRETARY 131 WOODCREAST RD CHERRY HILL, NJ 08003	CABLE VISION 1111 STEWART AVE BETHPAGE, NY 11714-3533
JCPL - CUSTOMER SERVICE) P.O. BOX 16001 READING PA. 19612-6001	NJ NATURAL GAS CO 1415 WYKOFF RD P.O. BOX 1378 WALL, NJ 07755-0001	

NO.	DATE	REVISIONS	BY	CHECKED
4.	2/23/2023	UPDATE PLANS PER BOARD ENGINEER'S REPORT DATED 1/20/2023	TCS	EMW
3.	12/29/2022	UPDATE BUILDING FOOTPRINTS PER CLIENT	TCS	EMW
2.	12/23/2022	UPDATE LOT 1.02 ZONING INFORMATION AND SETBACK	TCS	EMW
1.	12/20/2022	UPDATE PROPOSED PLAN PER CLIENT -ADD GRADING DRAINAGE AND DETAIL SHEETS	TCS	EMW

**NORTH POTTER PARTNERS LLC  
 MAJOR SUBDIVISION**

LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162  
 BOROUGH OF MANASQUAN  
 MONMOUTH COUNTY, NJ

**EXISTING CONDITIONS AND  
 DEMOLITION PLAN**

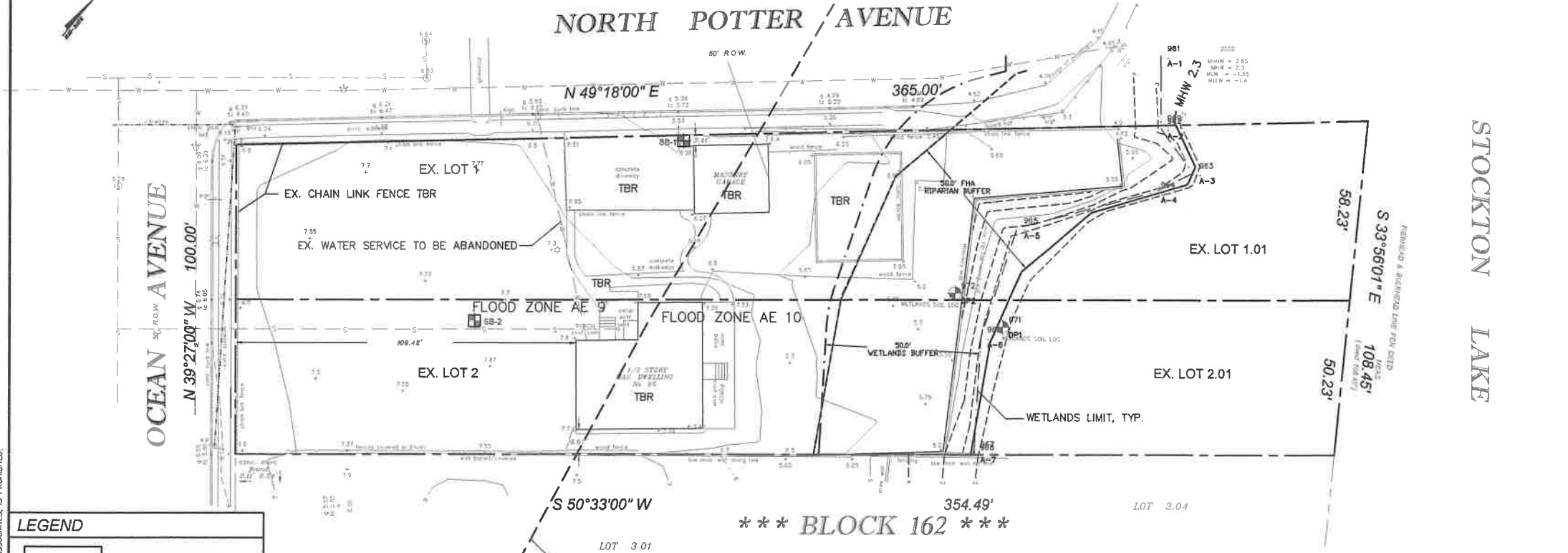
**E.M. Waterbury & Associates, P.A.**

ENGINEERING • PLANNING • LAND USE & DEVELOPMENT  
 530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739 • P:732.747.6630 F:732.747.8778 Email:emwssoc@aol.com

Digitally signed by  
**Elizabeth Waterbury**  
 ELIZABETH M. WATERBURY, P.E., P.P.  
 LICENSED PROFESSIONAL ENGINEER AND PLANNER  
 STATE OF NJ LICENSE No. 11646 (P.E.) 03591 (P.P.)

Date: 2023.02.23  
 16:43:14 -05'00'

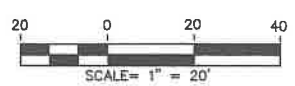
10/5/2022  
 DATE  
 SHEET 1  
 OF 8



**LEGEND**

[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED ROOFED PORCH
[Symbol]	PROPOSED CONCRETE SIDEWALK 4" THK.
[Symbol]	EXISTING LOT LINES
[Symbol]	EXISTING BUILDINGS
[Symbol]	TBR TO BE REMOVED
[Symbol]	BUILDING SET BACK LINE
[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING SEWER LINE
[Symbol]	EXISTING TREES TO REMAIN
[Symbol]	TREES TO BE REMOVED
[Symbol]	SB-1 SOIL BORING LOCATION

**NOTES FROM REFERENCED SURVEY:**  
 THE LOTS AND PREMISES SURVEYED AND SHOWN HEREON ARE KNOWN AND DESIGNATED AS LOT 1 & 2 BLOCK 9 AS SAID LOTS ARE SHOWN ON A CERTAIN MAP ENTITLED "MAP OF THE ESTATE OF E.H. JACKSON, De'd, SITUATE IN THE BOROUGH OF MANASQUAN MONMOUTH CO. N.J." MADE BY WILLIAM SECOINE SURVEYOR POINT PLEASANT, N.J. DATED JULY 1889 AND FILED IN THE OFFICE OF THE COUNTY CLERK ON JUNE 25, 1890 IN CASE 71 SHEET 16. (INCLUDING RIPARIAN GRANT PER RECORD DEED)



**SOIL BORING LOGS**

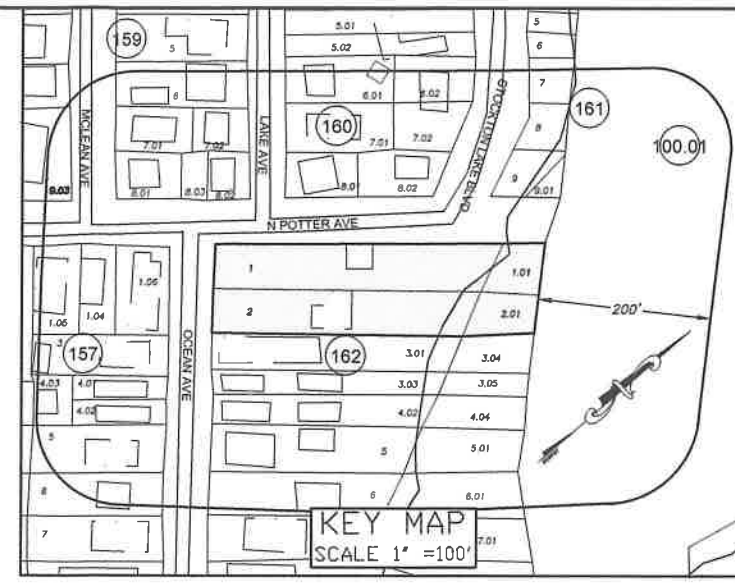
NO.	DATE	DESCRIPTION	DEPTH	REMARKS
1	2/16/2023	Soil Boring	10'	...
2	2/16/2023	Soil Boring	10'	...
3	2/16/2023	Soil Boring	10'	...
4	2/16/2023	Soil Boring	10'	...
5	2/16/2023	Soil Boring	10'	...
6	2/16/2023	Soil Boring	10'	...
7	2/16/2023	Soil Boring	10'	...
8	2/16/2023	Soil Boring	10'	...
9	2/16/2023	Soil Boring	10'	...
10	2/16/2023	Soil Boring	10'	...

SOIL BORING WERE PERFORMED ON SITE ON 2/16/2023 BY JONAS ENDERSON

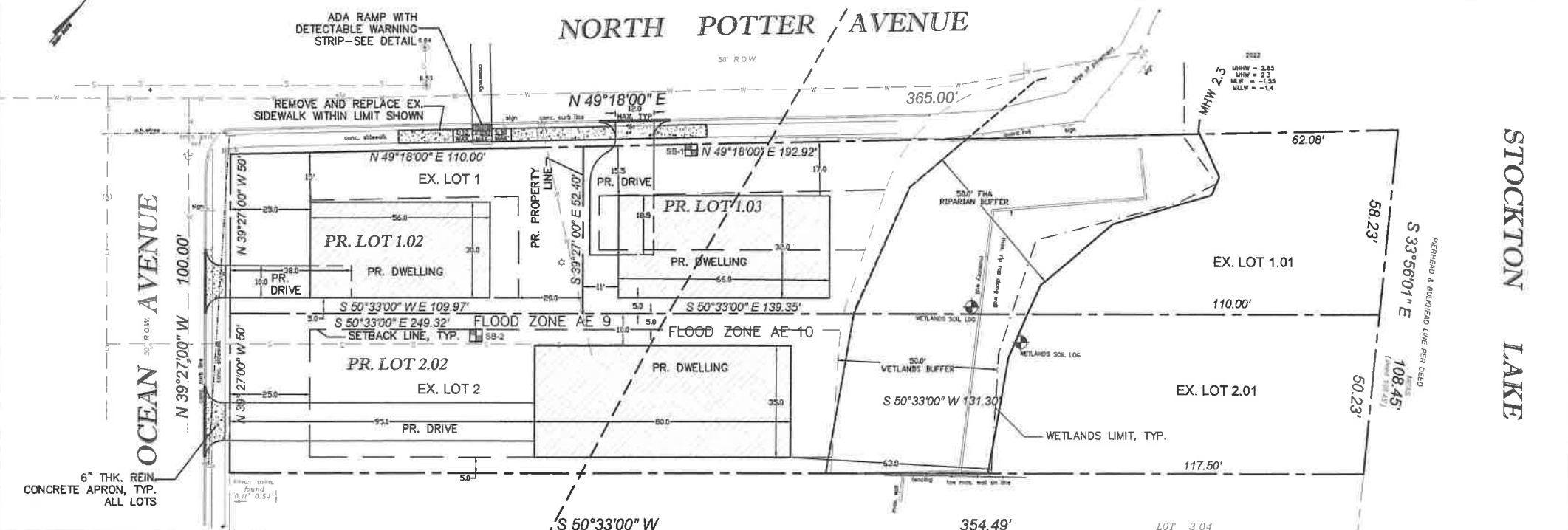
COPYRIGHT 2023, E.M. WATERBURY AND ASSOCIATES - ALL RIGHTS RESERVED. THE COPYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, FOR OTHER THAN THE ORIGINAL PROJECT OR FOR THE PURPOSES OF A ZONING AND BUILDING PERMIT, WITHOUT THE WRITTEN PERMISSION OF E.M. WATERBURY AND ASSOCIATES, IS PROHIBITED.



- GENERAL NOTES:**
1. DWELLING AND DRIVEWAY LOCATIONS AS SHOWN ARE CONCEPTUAL. ACTUAL MAY VARY.
  2. PROPOSED DRIVES TO HAVE NEW DEPRESSED CURB AND CONCRETE APRONS PROVIDED FOR THE NEW DRIVE OPENINGS. EXISTING CURB AND SIDEWALK ARE TO BE REMOVED TO NEAREST JOINT.
  3. CURB RETURNS AT ALL DRIVES ARE TO BE A MINIMUM 5 FEET.
  4. SUBDIVISION IS TO BE FILED BY DEED.
  5. PARKING SHOWN OVERLAPPING DWELLING FOOTPRINT IS PROPOSED BENEATH STRUCTURE.
  6. THE SITE IS TO BE CONSTRUCTED IN ACCORDANCE WITH SECTION 35-7.8 OF THE BOROUGH ORDINANCE. EACH LOT IS TO CONTAIN THE FOLLOWING:
    - a. An enclosed storage area, having a minimum of 80 square feet and 400 cubic feet, shall be provided for the storage of household personal items. The storage area may be an interior utility closet, interior storage room, attached garage, unattached garage or an exterior shed.
    - b. An exterior deck, porch, patio or similar facility, having a minimum area of 80 square feet or 10% of the first floor area of the dwelling, whichever is greater, shall be provided for exterior living purposes. Front yard decks and porches are encouraged to fulfill this requirement.
    - c. All areas in the front yard that are not driveway shall be either shrubbery or lawn. Driveways to meet the requirements of section 35-7.8d.



BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
157	1.04		2	MARCO, TINA L 10 S POTTER AVE MANASQUAN, NJ	50 POTTER AVE N	
157	1.05		2	O'CONNOR, EDWIN J & JANET M 11 BARITAN AVE SOUTH AMBOY, NJ	46 POTTER AVE N	
157	1.06		2	GUTIERREZ, ANTHONY & MICHELE K 58 POTTER AVE N MANASQUAN, NJ	56 POTTER AVE N	
157	3		2	KEENAN, HAROLD E & MARY PATRICIA 11 OCEAN AVE MANASQUAN, NJ	11 OCEAN AVE	
157	4.01		2	LUPINSKI, MARIE 97 GRETA PL EMERSON, NJ	13 OCEAN AVE	
157	4.02		2	CURTISE, JANICE BLAND, EUGENE ETAL 15 OCEAN AVE MANASQUAN, NJ	15 OCEAN AVE	
157	4.03		2	LUPINSKI, MARIE 13-1/2 OCEAN AVE MANASQUAN, NJ	13-1/2 OCEAN AVE	
157	5		2	PULEO, JOSEPH S & CAROLYN A 7 HUSSEL ROAD WHITEHOUSE STATION, NJ	17 OCEAN AVE	
158	9.03		2	TULLY, THOMAS ROBERT & GLASHOW, COU 167 MCLEAN AVE MANASQUAN, NJ	167 MCLEAN AVE	
159	6		2	GANTER, THOMAS 161 LAKE AVE MANASQUAN, NJ	161 LAKE AVE	
159	7.01		2	MARRON, EILEEN M 168 MCLEAN AVE MANASQUAN, NJ	168 MCLEAN AVE	
159	7.02		2	GERSTENHABER, CHARNA L 251 E 32ND ST APT 6A NEW YORK, NY	169 LAKE AVE	
159	8.01		2	LYON-VAIDEN REVOCABLE FAMILY TRUST 1640 DRYDEN WAY CROFTON MD	51 POTTER AVE N	
159	8.02		2	FERTIG, JOHN W JR & JANE E 55 POTTER AVE N MANASQUAN, NJ	55 POTTER AVE N	
159	8.03		2	HINGSTON, WALTER 53 N POTTER AVE MANASQUAN, NJ	53 POTTER AVE N	
160	6.01		2	MARONE, MICHAEL J & VERONICA A 162 LAKE AVE MANASQUAN, NJ	162 LAKE AVE	
160	6.02		1	SWIETCINSKI, JILL & DAVID 227 STOCKTON LAKE BLVD MANASQUAN, NJ	227 STOCKTON LAKE BLVD	7.02
160	7.01		2	ROBERTSON, DEBRA A 164 LAKE AVE MANASQUAN, NJ	164 LAKE AVE	
160	8.01		2	BLOMFORTE, JEFFREY J & JENNIFER C 61 POTTER AVE N MANASQUAN, NJ	61 POTTER AVE N	
160	8.02		2	TIELMAN, MENNO & DEBRA K 67 POTTER AVE N MANASQUAN, NJ	67 POTTER AVE N	
161	7		1	SWIETCINSKI, JILL 277 STOCKTON LAKE BLVD MANASQUAN, NJ	STOCKTON LAKE BLVD	8
161	9		1	TIELMAN, MENNO & DEBRA K 87 POTTER AVE N MANASQUAN, NJ	STOCKTON LAKE BLVD	9.01
162	1		2	MULTEN, EDWARD A & BARBARA J 2384 SYCAMORE ST WALL, NJ	66 POTTER AVE N	1.01, 2, 2.01
162	3.01		2	STILES, SANDRA E 10 OCEAN AVE MANASQUAN, NJ	10 OCEAN AVE	3.04
162	3.03		2	OCEAN AVENUE, LLC C/O STILES 10 OCEAN AVE MANASQUAN, NJ	12-14 OCEAN AVE	3.05
162	4.02		2	16 OCEAN AVENUE REAL ESTATE, LLC 26 OCEAN AVENUE MANASQUAN, NJ	16-16-1/2 OCEAN AVE	4.04
162	5		2	MCLAUGHLIN, JOHN A & JOAN M 682 BELGRADE DR KEARNY, NJ	18-18-1/2 OCEAN AVE	5.01
162	6		2	BABELMANN, H ALAN & DONNA 22 OCEAN AVE MANASQUAN, NJ	22 OCEAN AVE	6.01



COPYRIGHT 2022, E.M. WATERBURY AND ASSOCIATES, P.A. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT OR PORTIONS THEREOF, FOR OTHER THAN THE ORIGINAL PROJECT OR THE COPYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, FOR ANY OTHER PROJECT, WITHOUT THE WRITTEN PERMISSION OF E.M. WATERBURY AND ASSOCIATES, IS PROHIBITED.

**LEGEND**

- PROPOSED BUILDING
- PROPOSED ROOFED PORCH
- PROPOSED CONCRETE SIDEWALK 4" THK.
- EXISTING LOT LINES
- EXISTING BUILDINGS
- TO BE REMOVED
- BUILDING SET BACK LINE
- EXISTING CURB LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EXISTING TREES TO REMAIN
- TREES TO BE REMOVED
- SB-1 SOIL BORING LOCATION

**SUBDIVISION NOTE:**  
 PROPOSED LOT LAYOUT IN ACCORDANCE WITH FINAL PLAT FOR MAJOR SUBDIVISION PREPARED BY PAUL K. LYNCH DATED DECEMBER 9, 2022.

**ZONING SCHEDULE - R2 ZONE**

DESCRIPTION	REQUIRED	LOT 1.02	LOT 1.03	LOT 2.02
MIN. LOT AREA (SF)	5,000 SF	5656.31 SF	9274.00 SF	12,090.00 SF
MIN. LOT FRONTAGE (FT)	50'	50.00' (Ocean)	192.92'	50.00'
		110.00' (N. Potter)		
MIN SETBACK				
FRONT	25'	25' (Ocean)	15.5'(note 1)	25'(Ocean)
SIDE ( INTERIOR LOT)	5'		11'	
SIDE (CORNER LOT)	5' / 15'	5'/15'		
REAR	20'	20'	5*	> 20'
MAX. BUILDING COVERAGE	30%	30% Max	30% Max	30% Max
MAX. LOT COVERAGE	45%	45% Max	45% Max.	45% Max.
MAX. BUILDING HEIGHT	38' 33'	38' Max.	36'2" * Max	38' Max.
MAX. STORIES	2.5	2.5	2.5	2.5
NO. PARKING SPACES	PER RSIS -2.0	2.0	2.0	3.0+
		for Up to 4 bedrooms		

Note 1: Average setback for N. Potter = 15.5. See Survey Report dated 11/2/2022 prepare by Paul K. Lynch PLS. for calculation  
 \* VARIANCE REQUESTED

NO.	DATE	REVISIONS	BY	CHECKED
4.	2/23/2023	UPDATE PLANS PER BOARD ENGINEER'S REPORT DATED 1/20/2023	TCS	EMW
3.	12/29/2022	UPDATE BUILDING FOOTPRINTS PER CLIENT	TCS	EMW
2.	12/23/2022	UPDATE LOT 1.02 ZONING INFORMATION AND SETBACK	TCS	EMW
1.	12/20/2022	UPDATE PROPOSED PLAN PER CLIENT -ADD GRADING DRAINAGE AND DETAIL SHEETS	TCS	EMW

PROJECT NO: **NORTH POTTER PARTNERS LLC**  
**MAJOR SUBDIVISION**  
 LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162  
 BOROUGH OF MANASQUAN  
 MONMOUTH COUNTY, NJ

**LAYOUT AND DIMENSIONING PLAN**

**E.M. Waterbury & Associates, P.A.**  
 ENGINEERING • PLANNING • LAND USE & DEVELOPMENT  
 530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739 • P:732.747.8530 F:732.747.6778 Email:emw@emwad.com

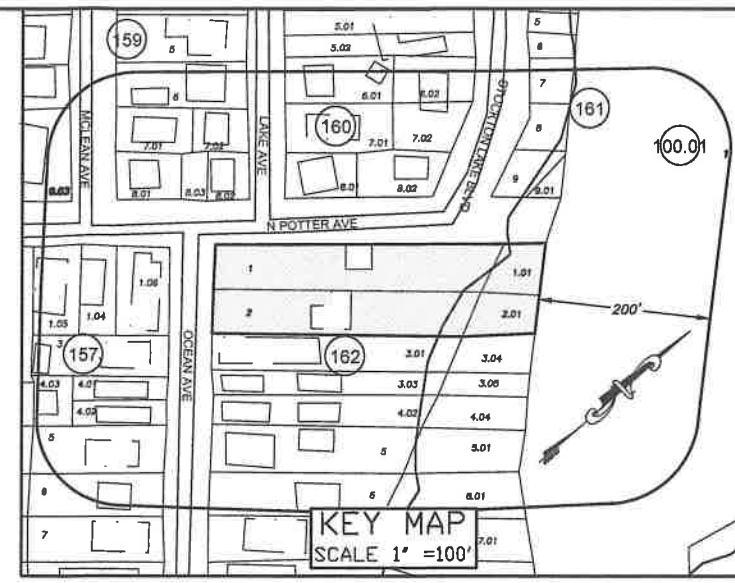
Digitally signed by Elizabeth Waterbury  
 Date: 2023.02.23 16:48:19 -05'00'

ELIZABETH M. WATERBURY, P.E., P.P.  
 LICENSED PROFESSIONAL ENGINEER AND PLANNER  
 STATE OF NJ LICENSE # 31845 (P.E.) 03991 (P.P.)

DATE: 10/5/2022  
 SHEET: 2  
 OF 6



- GRADING NOTES:**
- EXISTING CONCRETE CURB ALONG THE ADJACENT STREETS DAMAGED BY CONSTRUCTION SHALL BE REMOVED AND REPLACED IF AND WHERE DIRECTED BY THE BOROUGH ENGINEER.
  - CONCRETE CURB TO BE REPLACED SHALL BE CONSTRUCTED IN HORIZONTAL AND VERTICAL ALIGNMENT WITH EXISTING CURB AND PAVEMENT SURROUNDING REPAIR.
  - SEE TYPICAL INDIVIDUAL LOT SOIL EROSION AND SEDIMENT CONTROL DETAIL SHEET 4 FOR LOCATION OF SEDIMENT CONTROL MEASURES DURING LOT CONSTRUCTION.
  - EACH LOT IS TO GRADED AND MEET THE REQUIREMENTS OF SECTION 28-1.3 OF THE BOROUGH ORDINANCE.



**NATIONAL FLOOD INSURANCE PROGRAM**

PANEL 0456G

**FIRM**  
FLOOD INSURANCE RATE MAP

MONMOUTH COUNTY,  
NEW JERSEY  
(ALL JURISDICTIONS)

PANEL 456 OF 457  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

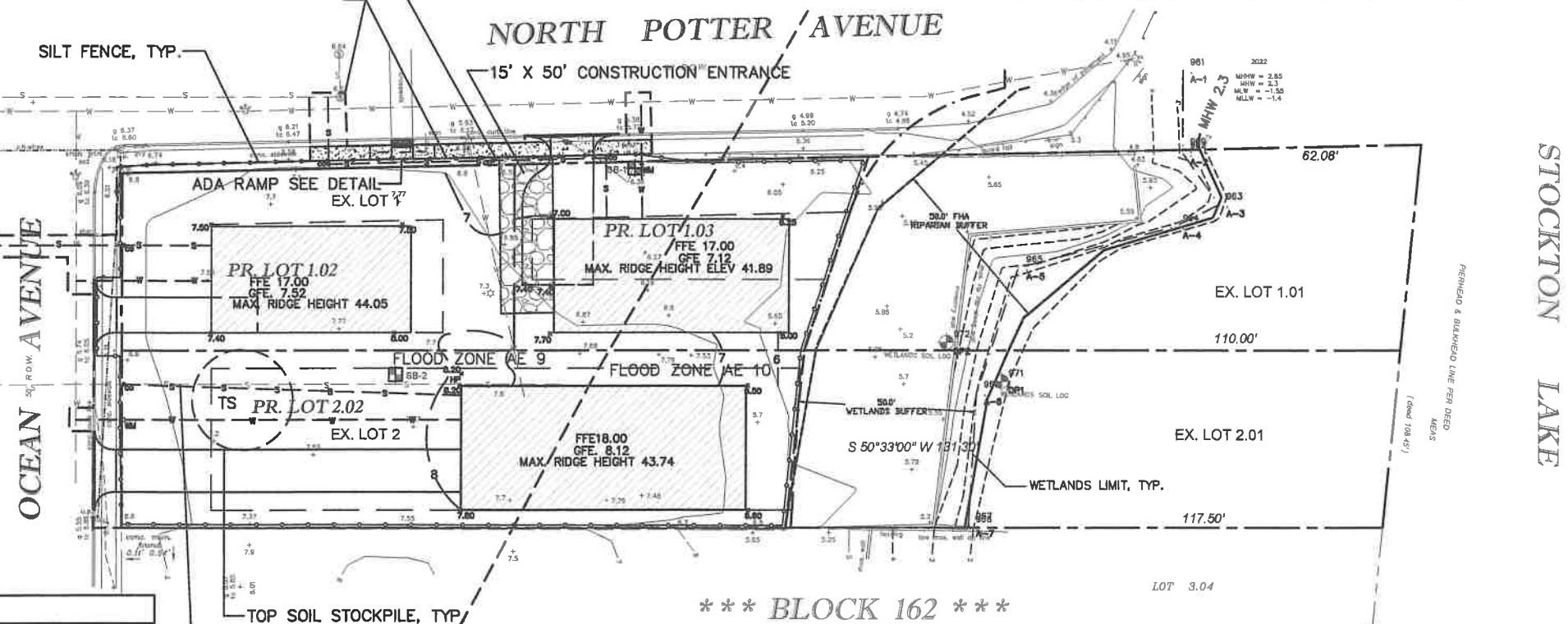
PRELIMINARY  
JANUARY 31, 2014

MAP NUMBER  
34025C0456G

MAP REVISED

Federal Emergency Management Agency

4" SANITARY SEWER LATERAL FOR LOT 1.03 TO BE LOCATED WITHIN RIGHT-OF-WAY



**SANITARY SEWER AND UTILITY NOTES**

- EXISTING UTILITIES TO BE USED FOR DWELLING ON LOT 2. THE PROPOSED LATERALS FOR THE DWELLINGS ON LOTS 1.02 AND 1.03 SHALL BE INSTALLED AND CONNECTED TO THE MAIN IN COMPLIANCE WITH THE 'STANDARD DETAILS' AND THE SEWER USE RULES AND REGULATIONS OF THE LOCAL SEWERAGE AUTHORITY.
- ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE RESIDENTIAL SITE IMPROVEMENT STANDARDS AND JURISDICTIONAL UTILITY AGENCY.
- CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FOR UTILITY INSTALLATION PRIOR TO BEGINNING WORK.
- LOCATIONS OF UTILITY CONNECTIONS TO BE CONFIRMED WITH UTILITY COMPANIES AND MECHANICAL DESIGN PRIOR TO INSTALLATION.
- SANITARY SEWER HOUSE CONNECTIONS TO BE 4" DIAMETER PVC PIPE SDR35.
- FOUR INCH WYES TO BE USED FOR SANITARY SEWER HOUSE CONNECTIONS.
- CONTRACTOR IS TO VERIFY ALL LOCATIONS OF UTILITY CONNECTIONS WITH UTILITY COMPANIES AND OBTAIN A FIELD MARK OUT PRIOR TO ANY DISTURBANCE OF THE SITE AND/OR PRIOR TO INSTALLATION. ENGINEER IS TO BE NOTIFIED OF ANY DISCREPANCIES BETWEEN ITEMS SHOWN ON THE PLAN AND LOCATED IN THE FIELD.
- WATER MAIN EXTENSION AND SERVICE LINE TO BE IN ACCORDANCE WITH N.J.A.C. 5:23-3.15, NJAC 5:21-5.3 AND SPECIFICATION OF NEW JERSEY AMERICAN WATER COMPANY.
- WATER SERVICE AND SANITARY SEWER SERVICE TO BE SEPARATED AS REQUIRED IN NJAC 7:14a-23.6 AS FOLLOWS UNLESS AMENDED TO REQUIRE STRICTER REQUIREMENTS. IN THAT CASE THE STRICTER REQUIREMENTS SHALL APPLY:
  - Sewers conveying sanitary flow, combined sanitary and stormwater flow, or industrial flow shall be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separation is not possible, the pipes shall be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the Department.
  - Where appropriate separation from a water main is not possible, the sewer shall be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer shall be provided. The Department may also require additional structural support for storm sewers crossing over sewer lines.

NO.	DATE	REVISIONS	BY	CHECKED
4.	2/23/2023	UPDATE PLANS PER BOARD ENGINEER'S REPORT DATED 1/20/2023	TCS	EMW
3.	12/29/2022	UPDATE BUILDING FOOTPRINTS PER CLIENT	TCS	EMW
2.	12/23/2022	UPDATE LOT 1.02 ZONING INFORMATION AND SETBACK	TCS	EMW
1.	12/20/2022	UPDATE PROPOSED PLAN PER CLIENT - ADD GRADING DRAINAGE AND DETAIL SHEETS	TCS	EMW

**NORTH POTTER PARTNERS LLC**

**MAJOR SUBDIVISION**

LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162  
BOROUGH OF MANASQUAN  
MONMOUTH COUNTY, NJ

**GRADING, UTILITY AND SOIL EROSION AND SEDIMENT CONTROL PLAN**

**E.M. Waterbury & Associates, P.A.**

ENGINEERING • PLANNING • LAND USE & DEVELOPMENT

530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739 • P:732.747.8530 F:732.747.6778 Email:emw@emwassoc.com

Digitally signed by Elizabeth Waterbury  
Date: 2023.02.23 16:44:50 -05'00'

ELIZABETH M. WATERBURY, P.E., P.P.  
LICENSED PROFESSIONAL ENGINEER AND PLANNER  
STATE OF NJ LICENSE NO. 31645 (P.E.) 03961 (P.P.)

DATE: 10/5/2022  
SHEET: 3 OF 6

COPYRIGHT 2023, E.M. WATERBURY AND ASSOCIATES - ALL RIGHTS RESERVED. THE COPYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, FOR OTHER THAN THE ORIGINAL PROJECT OR THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF E.M. WATERBURY AND ASSOCIATES, IS PROHIBITED.

**LEGEND**

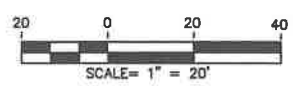
- PROPOSED BUILDING
- PROPOSED ROOFED PORCH
- PROPOSED CONCRETE SIDEWALK 4" THK.
- EXISTING LOT LINES
- EXISTING BUILDINGS
- TBR TO BE REMOVED
- BUILDING SET BACK LINE
- EXISTING CURB LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EXISTING TREES TO REMAIN
- TREES TO BE REMOVED
- FINISH FLOOR ELEV.
- GROUND LEVEL

**SESC LEGEND**

- INLET PROTECTION
- TOPSOIL STOCKPILE
- CONSTRUCTION ENTRANCE
- SILT FENCE
- DISTURBANCE LIMIT

43.2 x EX. ELEVATION  
44.00 PROP. ELEVATION

- SOIL EROSION SEDIMENT CONTROL NOTES**
- TOTAL AREA OF DISTURBANCE = 500 SF WITHIN ROW PAVEMENT = 21392 SF OUTSIDE OF ROADWAY = 21892 SF TOTAL
  - ALL AREAS NOT COVERED BY STRUCTURE OR LANDSCAPE BEDS SHALL RECEIVE TOPSOIL LAYER MEASURING 5" THK., WHEN MEASURED IN A COMPACTED STATE. LAWN AREAS TO BE PERMANENTLY STABILIZED USING EITHER SEED OR SOD, AS CHOSEN BY THE OWNER. IF SEEDED, PERMANENT LAWN SEED MIXTURE TO BE SEED MIXTURE 13 AS NOTED IN TABLE 4-3 ON SHEET 6.
  - SEEDED AREAS ARE TO BE FERTILIZED AND MULCHED IN ACCORDANCE WITH SOIL CONSERVATION DISTRICT STANDARDS.
  - SESC PROTECTION MEASURES SUCH AS SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO DISTURBANCE OF SITE. SILT FENCING IS TO BE PLACED AROUND THE LIMIT OF DISTURBANCE AND LEFT IN PLACE UNTIL THE SITE IS PERMANENTLY STABILIZED.
  - TREES TO REMAIN SHALL HAVE TREE PROTECTION INSTALLED PRIOR TO DISTURBANCE OF SITE.

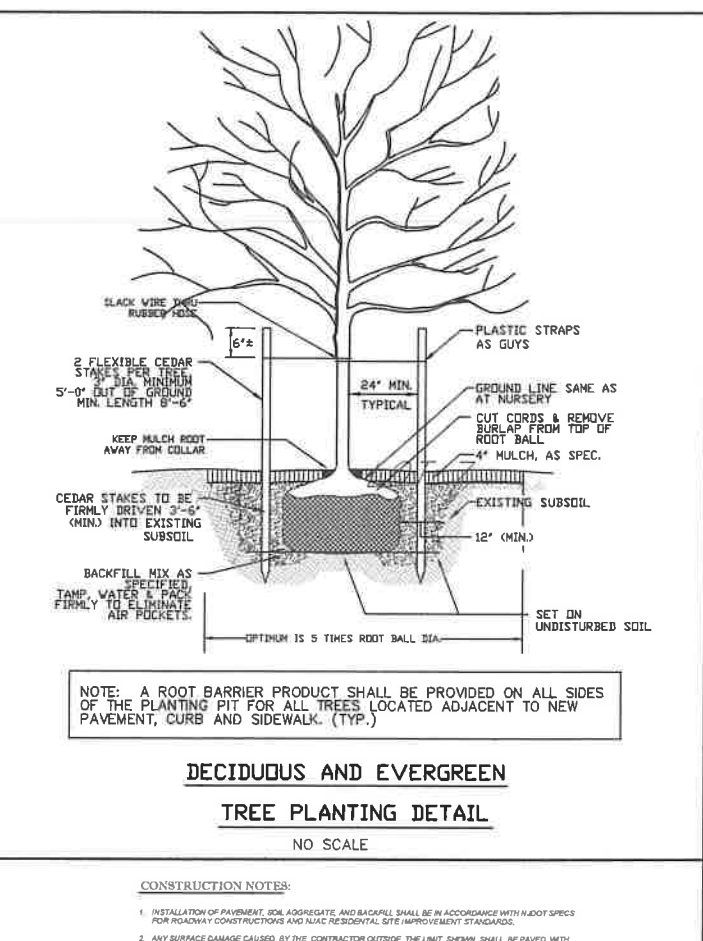
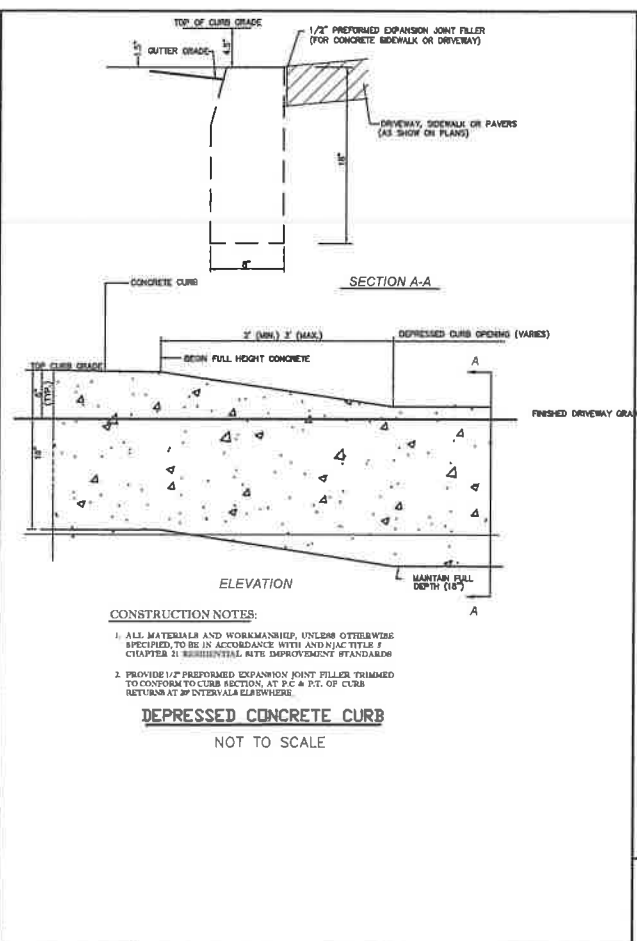
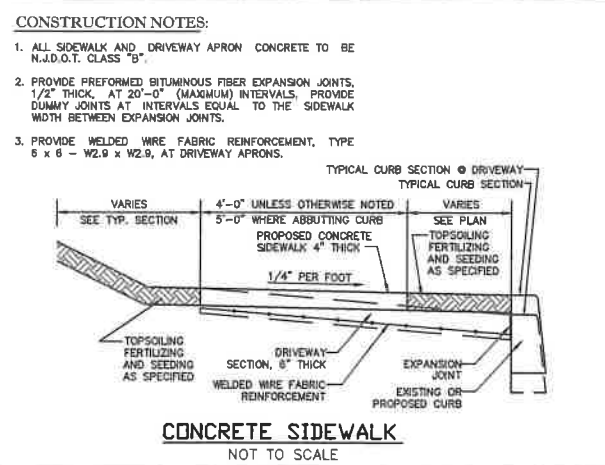
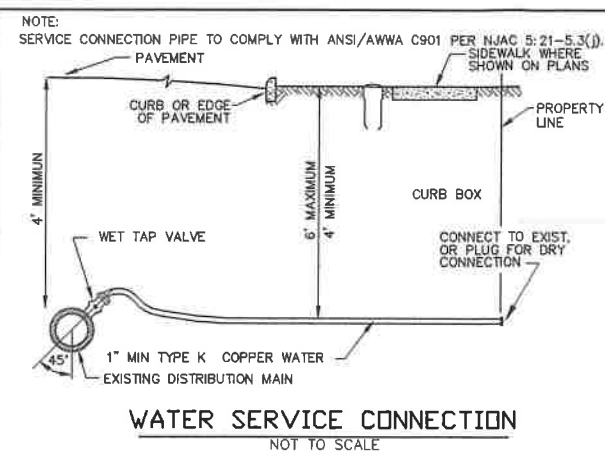


**PROPOSED CONSTRUCTION SEQUENCE FOR EACH DWELLING**

- FIRST WEEK OF CONSTRUCTION APPLY PROPER MEASURES FOR THE CONTROL OF SOIL EROSION AND SEDIMENT CONTROL.
- CLEARING OF THE SITE WILL TAKE APPROXIMATELY THREE WEEKS.
- UTILITY SERVICE CONNECTIONS AS MAY BE REQUIRED WILL TAKE APPROXIMATELY 2 WEEKS.
- TEMPORARY STABILIZATION OF DISTURBED AREAS IN A ROUGH GRADED CONDITION MAINTAINED BY SEEDING AND/OR MULCHING UNTIL PROPER WEATHER CONDITIONS EXIST FOR ESTABLISHMENT OF PERMANENT VEGETATIVE COVER WILL TAKE APPROXIMATELY ONE WEEK.
- CONSTRUCTION OF PROPOSED STRUCTURE ADDITION WILL TAKE APPROXIMATELY 4 MONTHS.
- INSTALLATION OF MATERIALS FOR SIDEWALK, DRIVEWAY RECONFIGURATION AND OTHER EXISTING IMPROVEMENT REPAIR AS MAY BE REQUIRED WILL TAKE APPROXIMATELY ONE MONTH.
- MAINTENANCE OF SOIL EROSION PROCEDURES.
- INSTALLATION OF TOPSOILING, FERTILIZING, SEEDING AND MULCHING AND LANDSCAPING WILL TAKE APPROXIMATELY THREE WEEKS.
- REMOVAL OF SOIL EROSION AND SEDIMENT CONTROL DEVICES AFTER ESTABLISHED VEGETATIVE GROWTH HAS OCCURRED AND SITE IS PERMANENTLY STABILIZED.

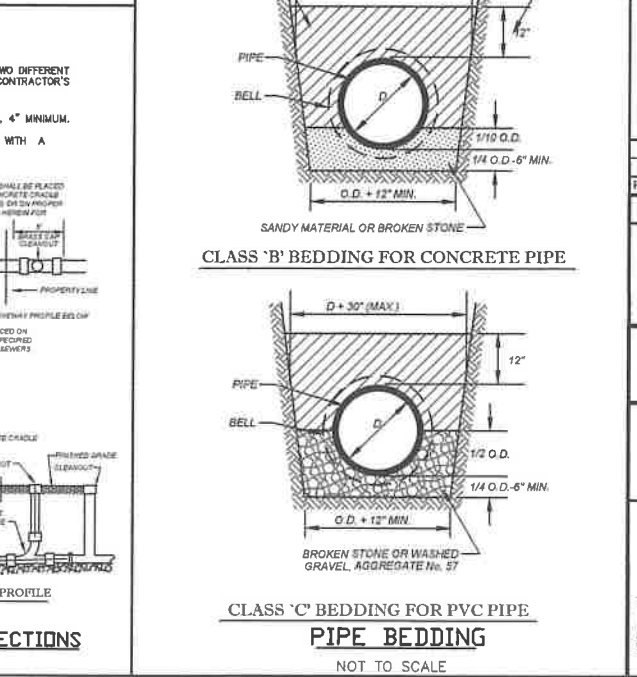
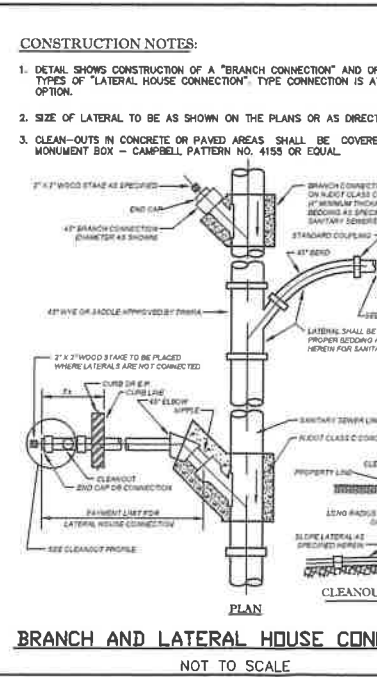
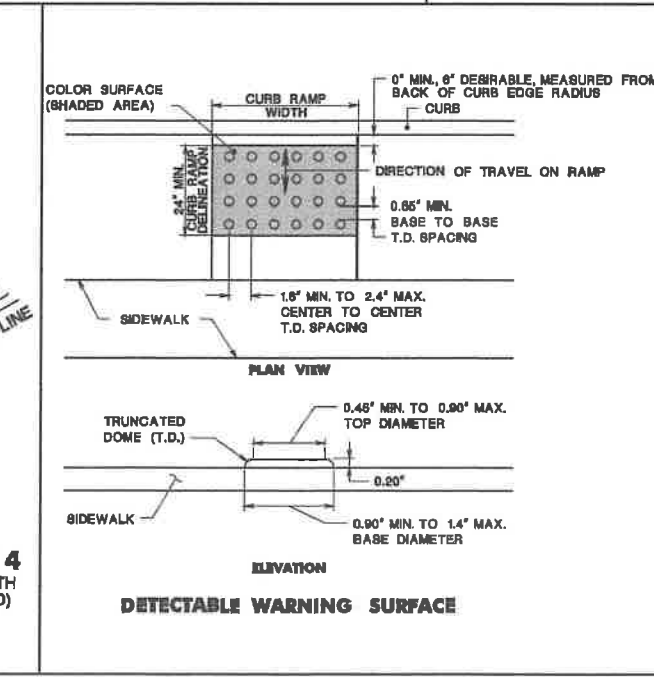
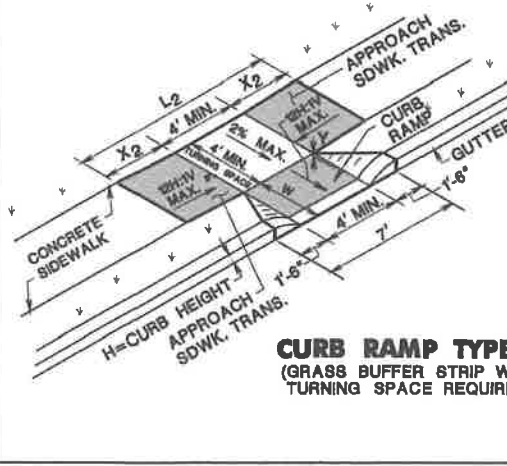
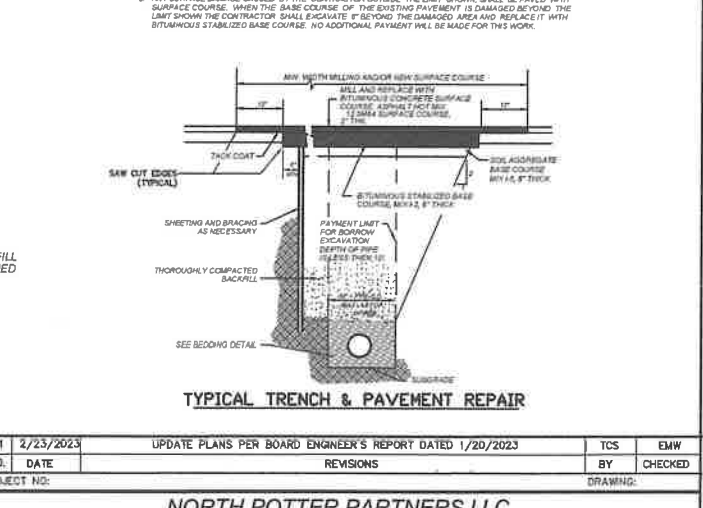
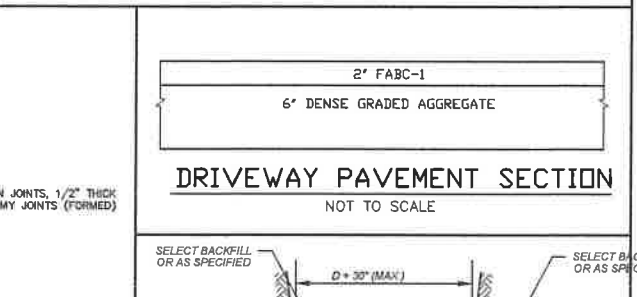
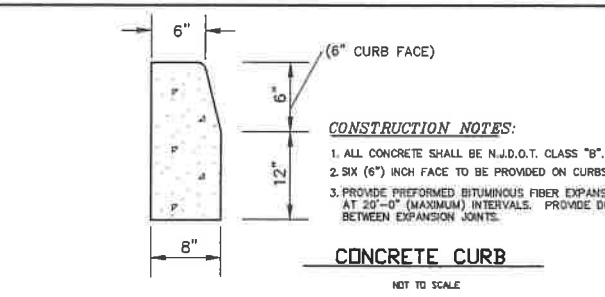
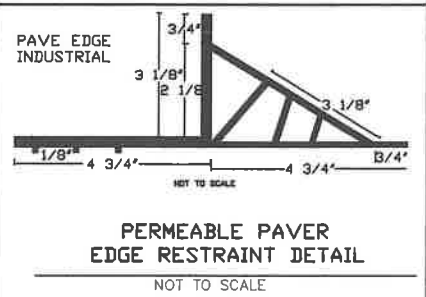
**GENERAL CONSTRUCTION NOTES**

- DIMENSION OF SIDEWALKS SHALL BE AS SHOWN.
- PROPERTY KNOWN AS LOTS 1 & 2, BLOCK 162, SITUATED IN THE BOROUGH OF MANASQUAN MONMOUTH COUNTY, NEW JERSEY.
- PROPERTY IS LOCATED IN THE R2 ZONE.
- DO NOT SCALE THESE DRAWINGS. ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. ARE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS NOTED ELSEWHERE HEREON IS NOT A SURVEY.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON, AND/OR IF SUCH CONDITIONS IN THE CONTRACTOR'S OPINION SHOULD OR COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- SITE SHALL BE SERVICED BY PUBLIC WATER.
- SITE IS SERVICED BY A SANITARY SEWER SYSTEM.
- SIGHT TRIANGLE EASEMENTS AS MAY BE REQUIRED ARE TO CONFORM W/THE BOROUGH OF MANASQUAN SUBJECT TO SUCH GRADING, PLANTING AND CONSTRUCTION RESTRICTIONS AS APPLY.
- ALL DIMENSIONS SHALL BE MEASURED FROM THE FACE OF THE CURB.
- PROPOSED SITE GRADING SHALL NOT EXCEED 3:1 SLOPE.
- BENCHMARK IS BASED ON ASSUMED DATUM.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND AND PRIOR TO THE PLACEMENT OF ANY PAVEMENT COURSE.
- ALL EXISTING STRUCTURES ABOVE AND BELOW GROUND ARE TO BE REMOVED (TBR) UNLESS OTHERWISE NOTED HEREON.
- GAS SERVICE SHALL BE PROVIDED BY N.J. NATURAL GAS COMPANY. ELECTRIC SERVICE TO BE PROVIDED BY G.P.U ENERGY.
- SOIL EROSION AND SEDIMENT CONTROL APPROVAL/ EXEMPTION SHALL FALL UNDER THE JURISDICTION OF THE FREEHOLD SOIL CONSERVATION DISTRICT, MANALAPAN, N.J.
- EXISTING VEGETATION SHALL REMAIN WHEREVER POSSIBLE.
- PROTECTIVE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING PRIOR TO THE START OF CONSTRUCTION TO ENSURE THE PRESERVATION OF ALL EXISTING VEGETATION WHICH IS TO REMAIN.
- STORM SEWER PIPE, IF PROPOSED ON SITE, SHALL BE REINFORCED CONCRETE PIPE CLASS III, WALL B, UNLESS OTHERWISE NOTED.
- ANY STORM SEWER AND SANITARY SEWER PIPE LENGTHS WHICH MAY BE INDICATED ON THE PLANS AND PROFILES REPRESENT LENGTHS FROM EDGE OF STRUCTURE TO EDGE OF STRUCTURE.
- UNDERDRAINS SHALL BE INSTALLED IF AND WHERE DIRECTED BY THE TOWNSHIP ENGINEER.
- ALL SANITARY SEWER PIPE SHALL BE PVC SDR-35 OR APPROVED EQUAL.
- 100 YEAR FLOOD ELEVATION TAKEN FROM FLOOD INSURANCE RATE MAP FOR THE BOROUGH OF MANASQUAN FALLS, NJ MONMOUTH COUNTY DATED JANUARY 31, 2014. PROPERTY LOCATED IN AE9 AND AE 10 ZONES.
- TEMPORARY CHAIN LINK FENCE, SIGN AND ANY OTHER CONSTRUCTION RELATED ITEMS SHALL BE REMOVED WITHIN 10 DAYS OF COMPLETION OF CONSTRUCTION, IF APPLICABLE.



**CURB RAMP TYPE 4**

D.O. % GUTTER LINE PROFILE							
H	W	Y	X <sub>1</sub>	X <sub>2</sub>	L <sub>2</sub>		
INCHES	FEET	INCHES	FEET	FEET	FEET		
3	2.75	2.75	0.91	0.91	5.82		
4			1.91	1.91	7.82		
5			2.91	2.91	9.82		
6			3.91	3.91	11.82		
7			4.91	4.91	13.81		
8			5.91	5.91	15.83		
9			6.91	6.91	17.83		
3			3.0	3.0	**	**	**
4					1.72	1.72	7.44
5	2.72	2.72			9.44		
6	3.72	3.72			11.45		
7	4.72	4.72			13.45		
8	5.72	5.72			15.45		
9	6.72	6.72			17.45		
3	3.5	3.5			**	**	**
4					1.34	1.34	6.68
5			2.34	2.34	8.68		
6			3.34	3.34	10.69		
7			4.34	4.34	12.69		
8			5.34	5.34	14.69		
9			6.34	6.34	16.69		
3			4.0	4.0	**	**	**
4					1.96	1.96	7.92
5	2.96	2.96			9.93		
6	3.96	3.96			11.93		
7	4.96	4.96			13.93		
8	5.96	5.96			15.93		



1 | 2/23/2023 | UPDATE PLANS PER BOARD ENGINEER'S REPORT DATED 1/20/2023 | TCS | EMW

NO. DATE | REVISIONS | BY CHECKED

PROJECT NO. | DRAWING:

**NORTH POTTER PARTNERS LLC**  
**MAJOR SUBDIVISION**  
LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162  
BOROUGH OF MANASQUAN  
MONMOUTH COUNTY, NJ

**CONSTRUCTION DETAILS**

**E.M. Waterbury & Associates, P.A.**  
ENGINEERING • PLANNING • LAND USE & DEVELOPMENT  
530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739 • P:732.747.6530 F:732.747.6778 Email:emwssoc@aol.com

Digitally signed by Elizabeth Waterbury  
Date: 2023.02.23 16:45:27 -05'00'

12/20/2022  
DATE  
SHEET 4  
OF 6

COPYRIGHT 2022, E.M. WATERBURY AND ASSOCIATES - ALL RIGHTS RESERVED - THE ORIGINAL PROJECT OR THE COPYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, FOR OTHER THAN THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF E.M. WATERBURY AND ASSOCIATES, IS PROHIBITED.

SOIL EROSION AND SEDIMENT CONTROL NOTES

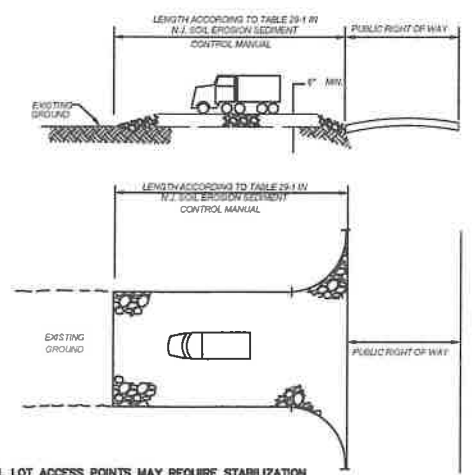
- The Freehold Soil Conservation District shall be notified forty-eight (48) hours in advance of any soil disturbing activity.
- All Soil Erosion and Sediment Control practices are to be installed prior to soil disturbance, or in their proper sequence, and maintained until permanent protection is established.
- Any changes to the Certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the District for re-certification. The revised plans must meet all current State Soil Erosion and Sediment Control Standards.
- N.J.S.A. 4:24-39 et. Seq. requires that no Certificates of Occupancy be issued before the District determines that a project or portion thereof is in full compliance with the Certified Plan and Standards for Soil Erosion and Sediment Control in New Jersey and a Report of Compliance has been issued. Upon written request from the applicant, the District may issue a Report of Compliance with conditions on a lot-by-lot or section-by-section basis, provided that the project or portion thereof is in satisfactory compliance with the sequence of development and temporary measures for soil erosion and sediment control have been implemented, including provisions for stabilization and site work.
- Any disturbed areas that will be left exposed more than sixty (60) days, and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of temporary cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of 2 to 2 1/2 tons per acre, according to the Standard for Stabilization with Mulch Only.
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion (i.e. soil stockpiles, steep slopes and roadway embankments) will receive temporary seeding in combination with straw mulch or a suitable equivalent, and a mulch anchor, in accordance with State Standards.
- A sub-base course will be applied immediately following rough grading and installation of improvements to stabilize streets, roads, driveways, and parking areas. In areas where no utilities are present, the sub-base shall be installed within fifteen (15) days of the preliminary grading.
- The Standard for Stabilized Construction Access requires the installation of a pad of clean crushed stone at points where traffic will be accessing the construction site. After interior roadways are paved, individual lots require a stabilized construction access consisting of one inch to two inch (1" - 2") stone for a minimum length of ten feet (10') equal to the lot entrance width. All other access points shall be blocked off.
- All soil washed, dropped, spilled, or tracked outside the limit of disturbance or onto public right-of-ways will be removed immediately.
- Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10) days after final grading.
- At the time that site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover shall be removed or treated in such a way that it will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed.
- In accordance with the Standard for Management of High Acid Producing Soils, any soil having a pH of 4 or less or containing iron sulfides shall be ultimately placed or buried with limestone applied at the rate of 10 tons/acre, (or 450 lbs/1,000 sq ft of surface area) and covered with a minimum of 12" of settled soil with a pH of 5 or more, or 24" where trees or shrubs are to be planted.
- Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system becoming operational.
- Unfiltered dewatering is not permitted. Necessary precautions must be taken during all dewatering operations to minimize sediment transfer. Any dewatering methods used must be in accordance with the Standard for Dewatering.
- Should the control of dust at the site be necessary, the site will be sprinkled until the surface is wet, temporary vegetative cover shall be established or mulch shall be applied as required by the Standard for Dust Control.
- Stockpile and staging locations established in the field shall be placed within the limit of disturbance according to the certified plan. Staging and stockpiles not located within the limit of disturbance will require certification of a revised Soil Erosion and Sediment Control Plan. Certification of a new Soil Erosion and Sediment Control Plan may be required for these activities if an area greater than 5,000 square feet is disturbed.
- All soil stockpiles are to be temporarily stabilized in accordance with Soil Erosion and Sediment Control note #6.
- The property owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or offsite as a result of construction of the project.

Freehold Soil Conservation District  
4000 Kozloski Road, Freehold, NJ 07728-5033, (732) 683-8500, fax (732) 683-9140, Email: info@freeholdscd.org

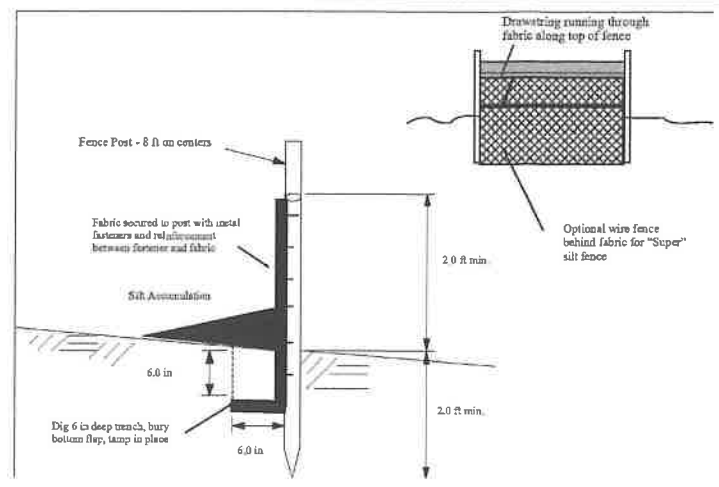
Table 2b-1: Lengths of Construction Exits on Sloping Roadbeds

Percent Slope of Roadway	Length of Stone Required	
	Coarse Grained Soils	Fine Grained Soils
0 to 2%	50 ft	100 ft
2 to 5%	100 ft	200 ft
>5%	Entire surface stabilized with Hot Mix Asphalt Base Course, Mix I-2 <sup>1</sup>	

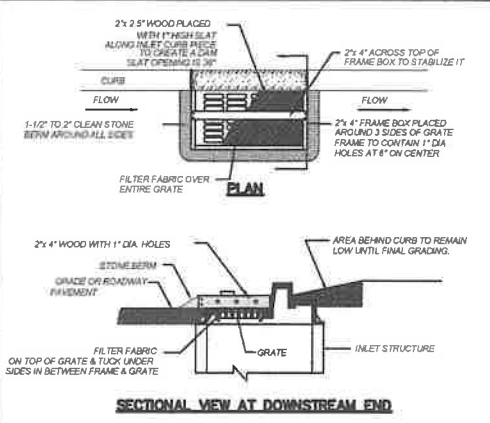
1. As prescribed by local ordinance or other governing authority.



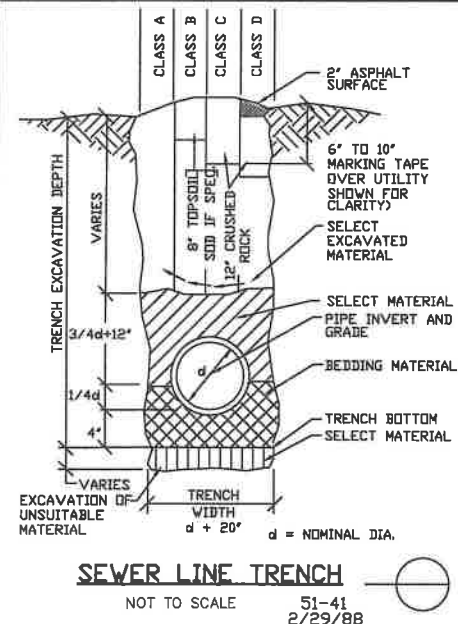
STABILIZED CONSTRUCTION ENTRANCE  
N.T.S.



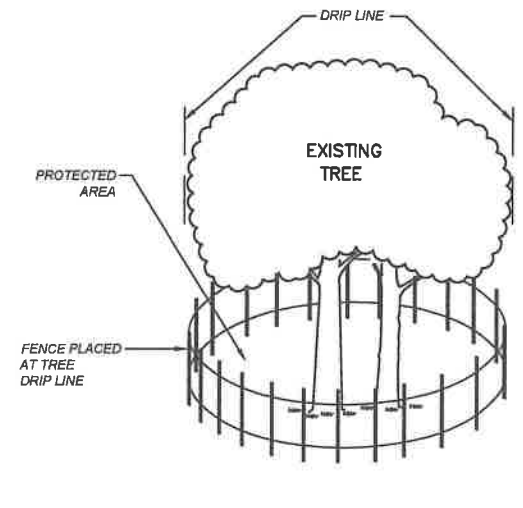
SILT FENCE SEDIMENT BARRIER  
N.T.S.



STORM SEWER INLET PROTECTION  
N.T.S.



SEWER LINE TRENCH  
NOT TO SCALE 51-41  
2/29/88



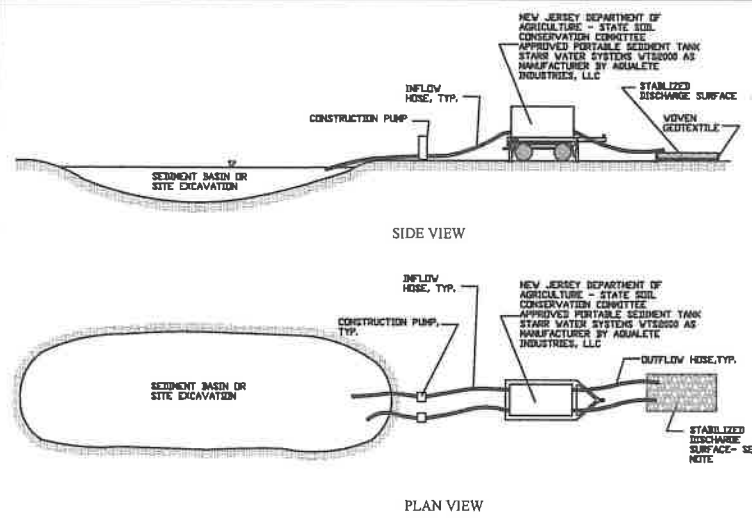
TREE PROTECTION DURING CONSTRUCTION DETAIL  
NOT TO SCALE

CONSIDER CAREFULLY THE FOLLOWING FACTORS BEFORE CHOOSING TO PRESERVE A TREE:

- LOCATION WITH RESPECT TO WHERE IT WILL FIT IN THE LANDSCAPE IN THE FINISHED PROJECT AND THE AESTHETIC/ ENVIRONMENTAL CONTRIBUTION IT MAY MAKE THERE.
- SPECIES AND ITS CHARACTERISTIC ROOT, GROWTH, BRANCHING PATTERNS, SUSCEPTIBILITY TO INSECTS AND DISEASE.
- SIZE AGE AND VIGOR.

THE AREA SHOWN TO BE FENCED SHOULD BE CONSIDERED A MINIMUM 99% OF THE TREE'S ROOTS ARE LOCATED IN THE TOP FOURTEEN INCHES OF SOIL AND MAY EXTEND MANY FEET WHERE SOIL IS OF GOOD QUALITY. SOIL, ON AVERAGE CONTAINS 25% AIR, AN ENVIRONMENT NECESSARY FOR TREE ROOTS TO SURVIVE. PROTECTING A TREE FROM COMPACTION FROM HEAVY EQUIPMENT, THE WEIGHT OF STOCKPILED MATERIALS, AND FROM GRADE CHANGES THAT DISTURB THE ROOT AREA IS ESSENTIAL FOR TREE SURVIVAL.

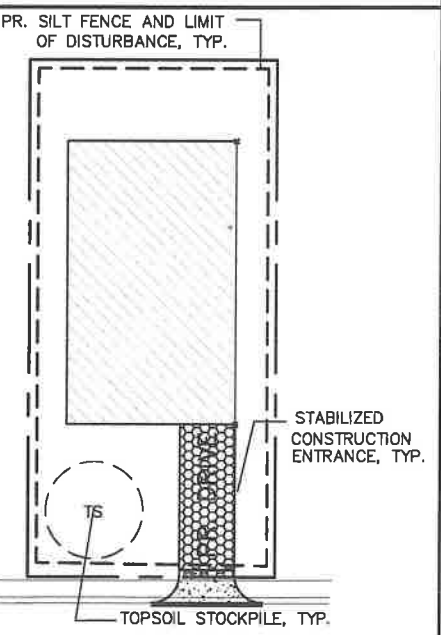
TREES MUST BE PROTECTED FROM MECHANICAL INJURY FROM EQUIPMENT OR OPERATIONS DURING CONSTRUCTION BECAUSE WOUNDS ADMIT DECAY AND DISEASE, ORGANISMS AND MAY ALTER GROWTH PATTERNS.



DEWATERING DETAIL  
USING WTS 2000 PORTABLE SEDIMENT TANK  
SEDIMENT BASIN OR SITE EXCAVATION CONTAINMENT  
NOT TO SCALE

- Construction Specifications
- Location.** Containers (tanks or bags) shall be located for ease of clean-out and disposal of the trapped sediment and to minimize interference with construction activities and pedestrian traffic. Bags shall not be placed directly into receiving waters.
  - Tank size.** The following formula should be used in determining the storage volume of the tank: 1 cubic foot of storage for each gallon per minute of pump discharge capacity. Typical tank configuration is shown on Detail 14-3. Tanks may be connected in series to increase effectiveness.
  - Tanks consist of two concentric circular pipes (CMP), attached to a watertight baseplate. The inner CMP is perforated with 1" holes on 6" centers and is wrapped with geotextile and hardware cloth. Pumped water is discharged into the inner CMP where it flows through the geotextile into the space between the two CMP's. A discharge line is attached to the outer CMP and draws filtered water from the annulus between the two concentric CMP's. The discharge line may be connected to another tank where it drains to the inner CMP of the second tank. This series connection may be continued indefinitely.
  - Sediment Control Bags must be located away from receiving waters and disposed of according to manufacturer's instructions. See detail for Sediment Control Bag (Filter Bag).

DEWATERING NOTES  
NOT TO SCALE



INDIVIDUAL LOT SOIL EROSION AND SEDIMENT CONTROL PLAN  
N.T.S.

1	2/23/2023	UPDATE PLANS PER BOARD ENGINEER'S REPORT DATED 1/20/2023	TCS	EMW
NO.	DATE	REVISIONS	BY	CHECKED
PROJECT NO:			DRAWING	
<b>NORTH POTTER PARTNERS LLC</b>				
<b>MAJOR SUBDIVISION</b>				
LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162 BOROUGH OF MANASQUAN MONMOUTH COUNTY, NJ				
<b>CONSTRUCTION DETAILS AND SOIL EROSION AND SEDIMENT CONTROL DETAILS AND NOTES</b>				
<b>E.M. Waterbury &amp; Associates, P.A.</b>				
ENGINEERING • PLANNING • LAND USE & DEVELOPMENT 530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739 • P:732.747.6530 F:732.747.6776 Email:emw@emwassoc.com				
Digitally signed by <b>Elizabeth Waterbury</b>			DATE 12/20/2022	
ELIZABETH M. WATERBURY, P.E., P.P. LICENSED PROFESSIONAL ENGINEER AND PLANNER STATE OF NJ LICENSE # 31645 (P.E.) 03961 (P.P.)			Date: 2023.02.23 16:46:02 -05'00'	
			SHEET 5 OF 6	

COPYRIGHT 2022, E.M. WATERBURY AND ASSOCIATES - ALL RIGHTS RESERVED. THE COPYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, FOR OTHER THAN THE ORIGINAL PROJECT OR THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF E.M. WATERBURY AND ASSOCIATES, IS PROHIBITED.

STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

DEFINITION

PERMANENT VEGETATIVE COVER ON EXPOSED SOILS WHERE PERENNIAL VEGETATION IS NEEDED FOR LONG TERM PROTECTION.

PURPOSE

TO PERMANENTLY STABILIZE THE SOIL, ASSURE CONSERVATION OF SOIL AND WATER, AND TO ENHANCE THE ENVIRONMENT.

WATER QUALITY ENHANCEMENT

SLOW THE OVERLAND MOVEMENT OF STORMWATER RUNOFF, INCREASES INFILTRATION AND RETAINS SOL AND NUTRIENTS ON SITE, PROTECTING STREAMS OR OTHER STORMWATER CONVEYANCES.

WHERE APPLICABLE

ON EXPOSED SOILS THAT HAVE A POTENTIAL FOR CAUSING OFF-SITE ENVIRONMENTAL DAMAGE.

METHODS AND MATERIALS

I. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION... B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION... C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL... D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL, STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

II. SEEDBED PREPARATION

- A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FINISHED... B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT... C. HIGH ACID PRODUCING SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION.

III. SEEDING

- A. SELECT A MIXTURE FROM TABLE 4-3 OR USE A MIXTURE RECOMMENDED BY RUTGERS COOPERATIVE EXTENSION OR NATIONWIDE SEEDS CONSERVATION SERVICE... 1. SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT... 2. WARM-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES... 3. COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 65°F... B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DRILL, CULTIPACKER SEEDER, HYDROSEEDER, OR HYDROSEEDER FOLLOWING SEEDING... C. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT... D. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER-MOUNTED TANK WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER...

IV. MULCHING

- MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT... 1. PEG AND TWINE DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS... 2. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE... 3. CRIMPER (MULCH ANCHORING COILER TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW... 4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH... APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH... A. USE ONE OF THE FOLLOWING: (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL... (2) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL... NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

- B. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS... C. PELLETED MULCH - COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS... V. IRRIGATION (WHERE FEASIBLE) IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER... VI. TOPDRESSING SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED IN SECTION 2A - SEEDING PREPARATION... VII. ESTABLISHING PERMANENT VEGETATIVE STABILIZATION THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR... VIII. TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER ON SOILS EXPOSED FOR PERIODS OF TWO TO SIX MONTHS WHICH ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION OR NOT SCHEDULED FOR PERMANENT SEEDING WITHIN 60 DAYS.

TABLE 4-3 SEED MIXTURES

Table with columns: SEED MIXTURE, PLANTING RATE (POUNDS PER ACRE), PLANTING DATES (Zones 6a, 6b, 7a, 7b), and REMARKS. Includes mixtures for Warm Season and Cool Season seed mixtures.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

DEFINITION

ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER ON SOILS EXPOSED FOR PERIODS OF TWO TO SIX MONTHS WHICH ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION OR NOT SCHEDULED FOR PERMANENT SEEDING WITHIN 60 DAYS.

PURPOSE TO TEMPORARILY STABILIZE THE SOIL AND REDUCE DAMAGE FROM WIND AND WATER EROSION UNTIL PERMANENT STABILIZATION IS ACCOMPLISHED.

WATER QUALITY ENHANCEMENT

PROVIDES TEMPORARY PROTECTION AGAINST THE IMPACTS OF WIND AND RAIN, SLOWS THE OVER LAND MOVEMENT OF STORMWATER RUNOFF, INCREASES INFILTRATION AND RETAINS SOL AND NUTRIENTS ON SITE, PROTECTING STREAMS OR OTHER STORMWATER CONVEYANCES.

WHERE APPLICABLE

ON EXPOSED SOILS THAT HAVE THE POTENTIAL FOR CAUSING OFF-SITE ENVIRONMENTAL DAMAGE.

METHODS AND MATERIALS

I. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION... B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL, STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS... C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION...

II. SEEDBED PREPARATION

- A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS... B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT... C. INSPECT SEEDBED JUST BEFORE SEEDING... D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1.

III. SEEDING

- A. SELECT SEED FROM RECOMMENDATIONS IN TABLE 7-2.

TABLE 7-2 TEMPORARY VEGETATIVE STABILIZATION GRASSES SEEDING RATES, DATES AND DEPTH

Table with columns: SEED SELECTIONS, SEEDING RATES (Pounds per acre), Seeding Rates per 1000 sq. feet, Optimum Seeding Date (Zones 6a, 6b, 7a, 7b), and Optimum Seed Depth (inches).

- 1. SEEDING RATE FOR WARM SEASON GRASS SELECTIONS 5-7 SHALL BE ADJUSTED TO REFLECT THE AMOUNT OF PURE LISE SEED (PLS) AS DETERMINED BY A GERMINATION TEST RESULT... 2. MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR SEEDED AREA CAN BE IRRIGATED... 3. PLANT HARDNESS ZONE (SEE FIGURE 7-1, P. 7-4) THIS PROJECT IS IN ZONE 7A... 4. TWICE THE DEPTH FOR SANDY SOILS... B. CONVENTIONAL SEEDING APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER... C. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER... D. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT...

IV. MULCHING

- MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT... 1. PEG AND TWINE DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS... 2. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE... 3. CRIMPER (MULCH ANCHORING TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW... 4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR HAY OR STRAW MULCH... APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH... A. USE ONE OF THE FOLLOWING:

- (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL... (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSED IN WATER... NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

WOOD-FIBER OR PAPER-FIBER MULCH, SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS... PELLETED MULCH, COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS... APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

STANDARD FOR MULCH ONLY

DEFINITION

STABILIZING EXPOSED SOILS WITH NON-VEGETATIVE MATERIALS EXPOSED FOR PERIODS LONGER THAN 14 DAYS TO PROTECT EXPOSED SOIL SURFACES FROM EROSION DAMAGE AND TO REDUCE OFFSITE ENVIRONMENTAL DAMAGE.

WATER QUALITY ENHANCEMENT

PROVIDES TEMPORARY MECHANICAL PROTECTION AGAINST WIND OR RAINFALL INDUCED SOIL EROSION UNTIL PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED.

WHERE APPLICABLE

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO EROSION, WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION-RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED.

METHODS AND MATERIALS

I. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION... B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL, STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS...

II. PROTECTIVE MATERIALS

- A. UNROTTED SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET... B. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE... C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS... D. MULCH NETTING, SUCH AS PAPER, JUTE, COTTON, OR PLASTIC, MAY BE USED... E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES... G. GRAVEL, CRUSHED STONE OR SLAG AT THE RATE OF 8 CUBIC YARDS PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES... H. MULCH ANCHORING

III. MULCH ANCHORING

- APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH... 1. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE... 2. MULCH NETTINGS - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE... 3. CRIMPER MULCH ANCHORING COILER TOOL - A TRACTOR-DRAWN IMPLEMENT... 4. LIQUID MULCH-BINDERS

Project information block including date (1/23/2023), project name (NORTH POTTER PARTNERS LLC MAJOR SUBDIVISION), location (LOT 1.01, 1.02, 1.03, 2.01, 2.02 BLOCK 162 BOROUGH OF MANASQUAN MONMOUTH COUNTY, NJ), and contact information for E.M. Waterbury & Associates, P.A. (530 Prospect Avenue, Suite 2C, Little Silver, NJ 07739).

**PAUL K. LYNCH**  
**LAND SURVEYORS**  
P.O. BOX 1453  
WALL, NEW JERSEY 07719  
PHONE (732) 681-4035  
EMAIL- pklynchs @ gmail.com

**\* SURVEYORS REPORT 571022162-1 \***

November 2, 2022

North Potter Partners LLC  
66 North Potter Avenue  
Manasquan, N.J. 08736

To Whom It May Concern:


In regard to front setbacks on the south side of North Potter Avenue  
Manasquan Borough, N.J. within 200' of Lot 1 Block 162 as verified by zoning officer R.  
Furey  
the following measurements have been taken:

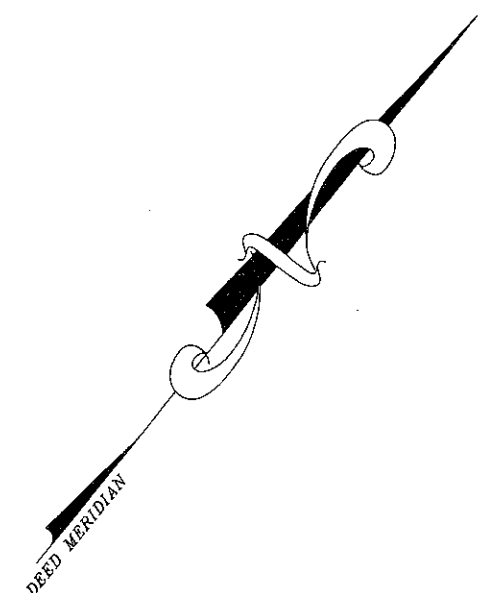
The following are foundation or framing setbacks with roof over from the s'ly r.o.w. line  
of North Potter Ave.:

Lot 1.04 Block 157	16.0'
Lot 1.05 Block 157	15.16'
Lot 47 Block 157	15.33'
<b>Average</b>	<b>15.50'</b>

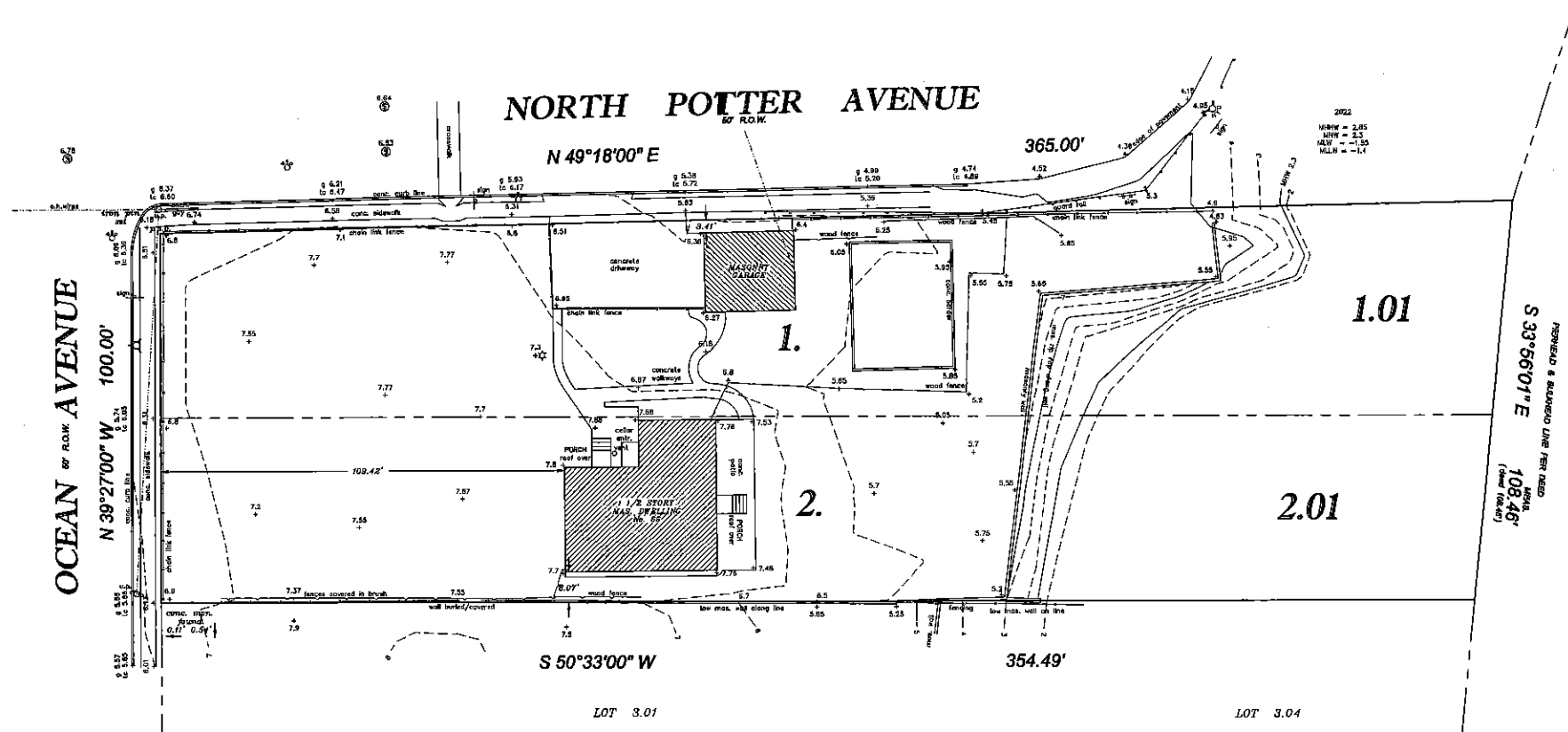
If you have any questions or clarifications please call my office.

Sincerely yours,

  
Paul K. Lynch LS



THE LOTS AND PREMISES SURVEYED AND SHOWN HEREON ARE KNOWN AND DESIGNATED AS LOT 1 & 2 BLOCK 162 AS SAID LOTS ARE SHOWN ON A CERTAIN MAP ENTITLED "MAP OF THE ESTATE OF E.H. JACKSON, Dec 2, SITUATE IN THE BOROUGH OF MANASQUAN MONMOUTH CO. N.J." MADE BY WILLIAM SECOINE SURVEYOR POINT PLEASANT, N.J. DATED JULY 1889 AND FILED IN THE OFFICE OF THE COUNTY CLERK ON JUNE 25, 1890 IN CASE 71 SHEET 16. (INCLUDING RIPARIAN GRANT PER RECORD DEED)

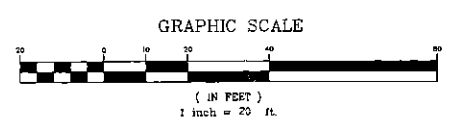


\*\*\* BLOCK 162 \*\*\*

CERTIFIED TO:  
MANASQUAN BANK ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR

THE ELEVATIONS & CONTOURS SHOWN HEREON ARE REFERENCED TO N.A.S.D. 1988  
TOTAL TRACT AREA SURVEYED IS 37,381 s.f. (25,995 s.f. uplands/10,386 s.f. riparian)  
EASEMENTS OF RECORD, ENVIRONMENTALLY SENSITIVE AREAS & NJDEP TIDELANDS CLAIMLINE ARE NOT LOCATED HEREON.

ANY OBJECT BENEATH AND NOT VISIBLE ON THE SURFACE OF THE BARTH OF THE LOT AND PREMISES SURVEYED AND SHOWN HEREON HAS NOT BEEN LOCATED.

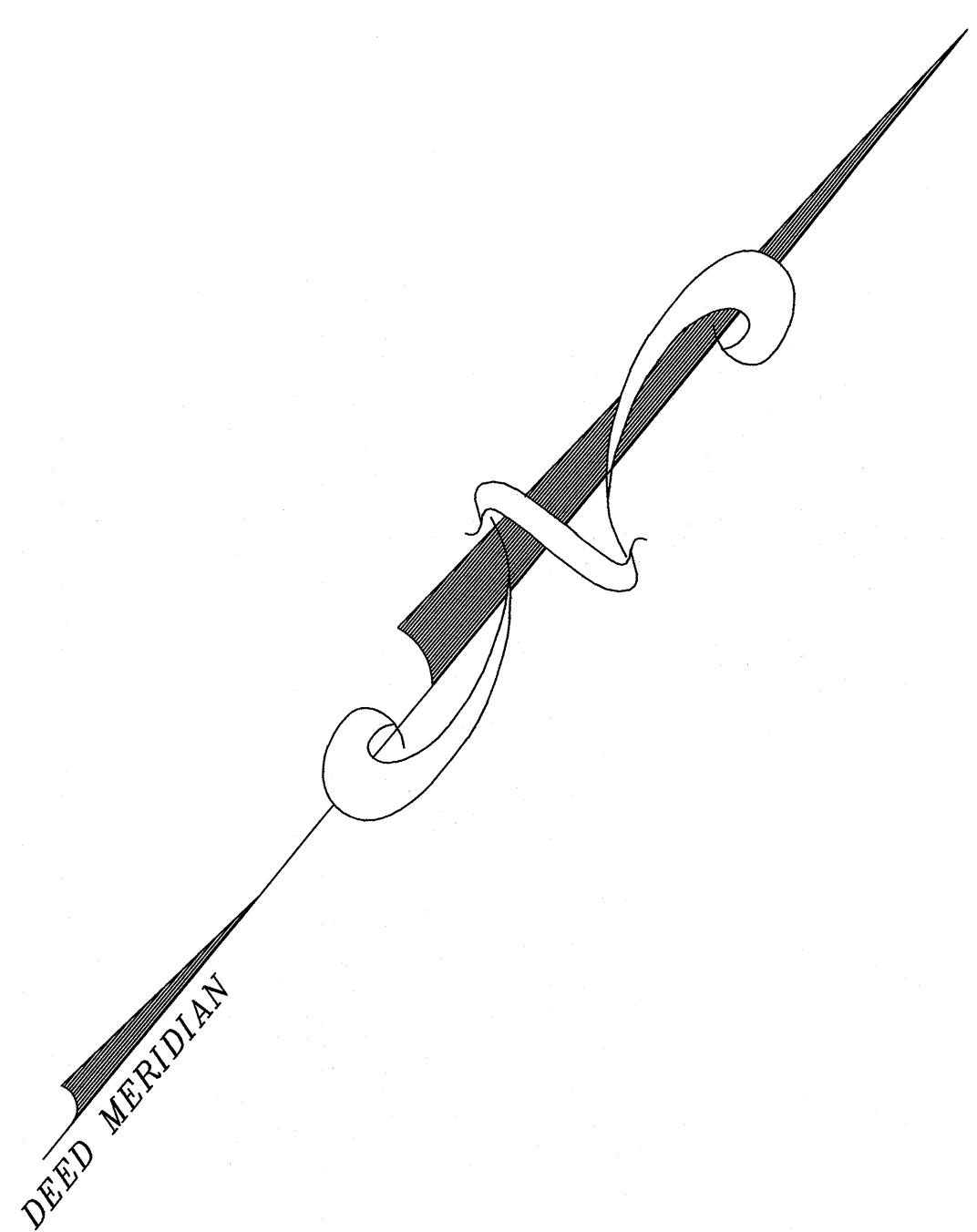


TOPOGRAPHIC SURVEY FOR  
**NORTH POTTER PARTNERS LLC**  
SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY KNOWN AND DESIGNATED AS LOT 1, 1.01, 2 & 2.01 BLOCK 162 AS SHOWN ON THE TAX MAP OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

**PAUL K. LYNCH**  
LAND SURVEYOR & BOUNDARY CONSULTANT  
P.O. BOX 1459 WALL, N.J. 07719 (732) 266-4038 PKLYNCH@GMAIL.COM

NEW JERSEY PROFESSIONAL LAND SURVEYOR  
LICENSE No. 35855

Date: 4-04-22  
Scale: 1" = 20'  
FB: 116018  
File: 87032162-1  
Drawing: D49157

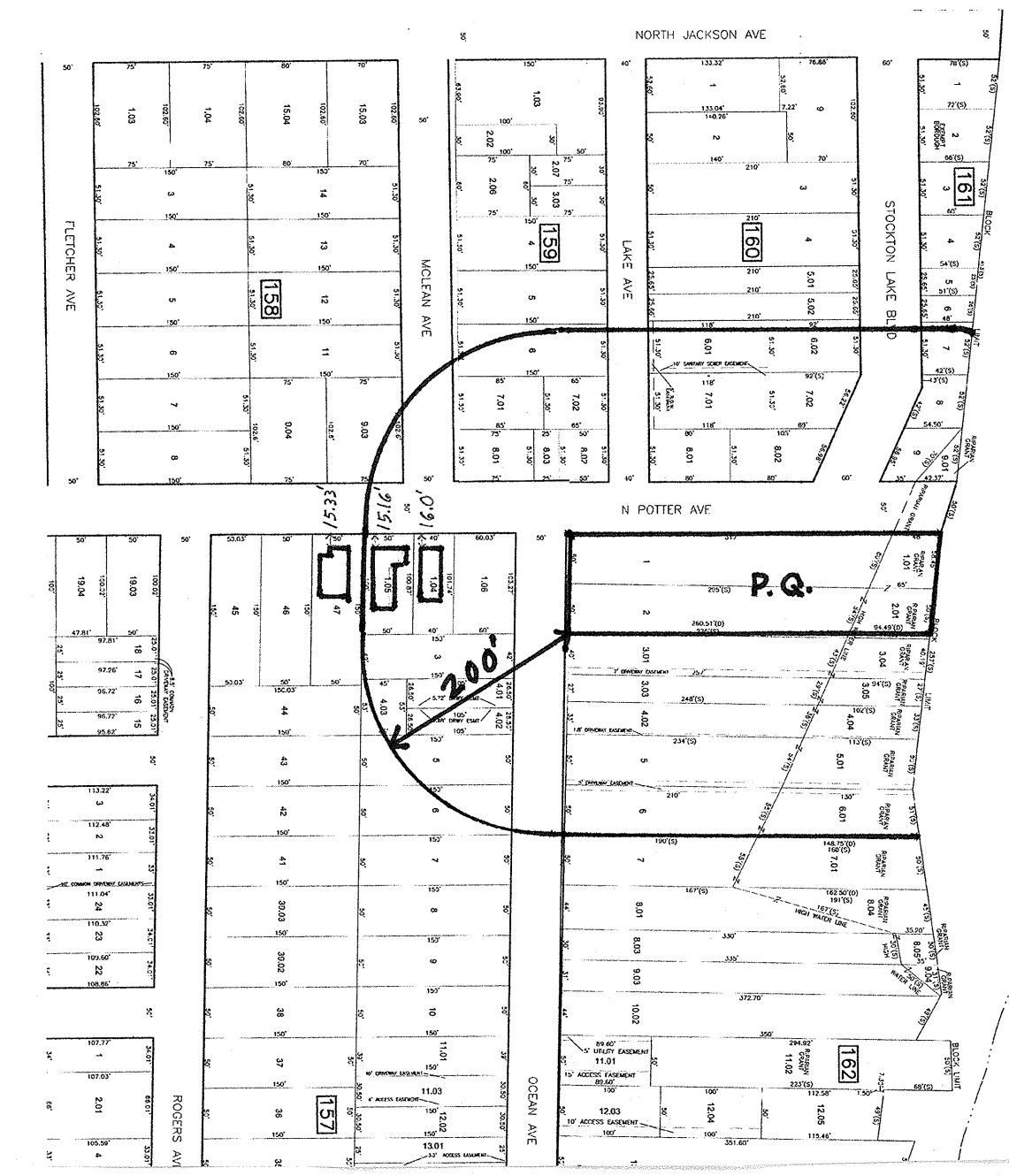


THE LOTS AND PREMISES SURVEYED AND SHOWN HEREON ARE KNOWN AND DESIGNATED AS LOT 1 & 2 BLOCK 9 AS SAID LOTS ARE SHOWN ON A CERTAIN MAP ENTITLED "MAP OF THE ESTATE OF E.H. JACKSON, Dec'd, SITUATE IN THE BOROUGH OF MANASQUAN MONMOUTH CO. N.J." MADE BY WILLIAM SECORNE SURVEYOR POINT PLEASANT, N.J. DATED JULY 1889 AND FILED IN THE OFFICE OF THE COUNTY CLERK ON JUNE 25, 1890 IN CASE 71 SHEET 16. (INCLUDING RIPARIAN GRANT PER RECORD DEED)

**R-2 ONE FAMILY RESIDENTIAL ZONING**

	REQUIRED	PROVIDED LOT 1.02	PROVIDED LOT 1.03	PROVIDED LOT 2.02
MINIMUM LOT AREA s.f.	5000	5631	9274	12090
MINIMUM LOT FRONTAGE ft.	50	50	192.92	50
MINIMUM FRONT YARD ft.	25	25	15 *	25
MINIMUM SIDE YARD ft.	5	5	5	5
MINIMUM REAR YARD ft.	20	20	5 *	>20
MAXIMUM BLDG HEIGHT ft./sty	38.25	38.25	36.17 * 2.5	38.25
MAXIMUM BLDG COVERAGE %	30	30	30	30
MAXIMUM LOT COVERAGE %	45	45	45	45

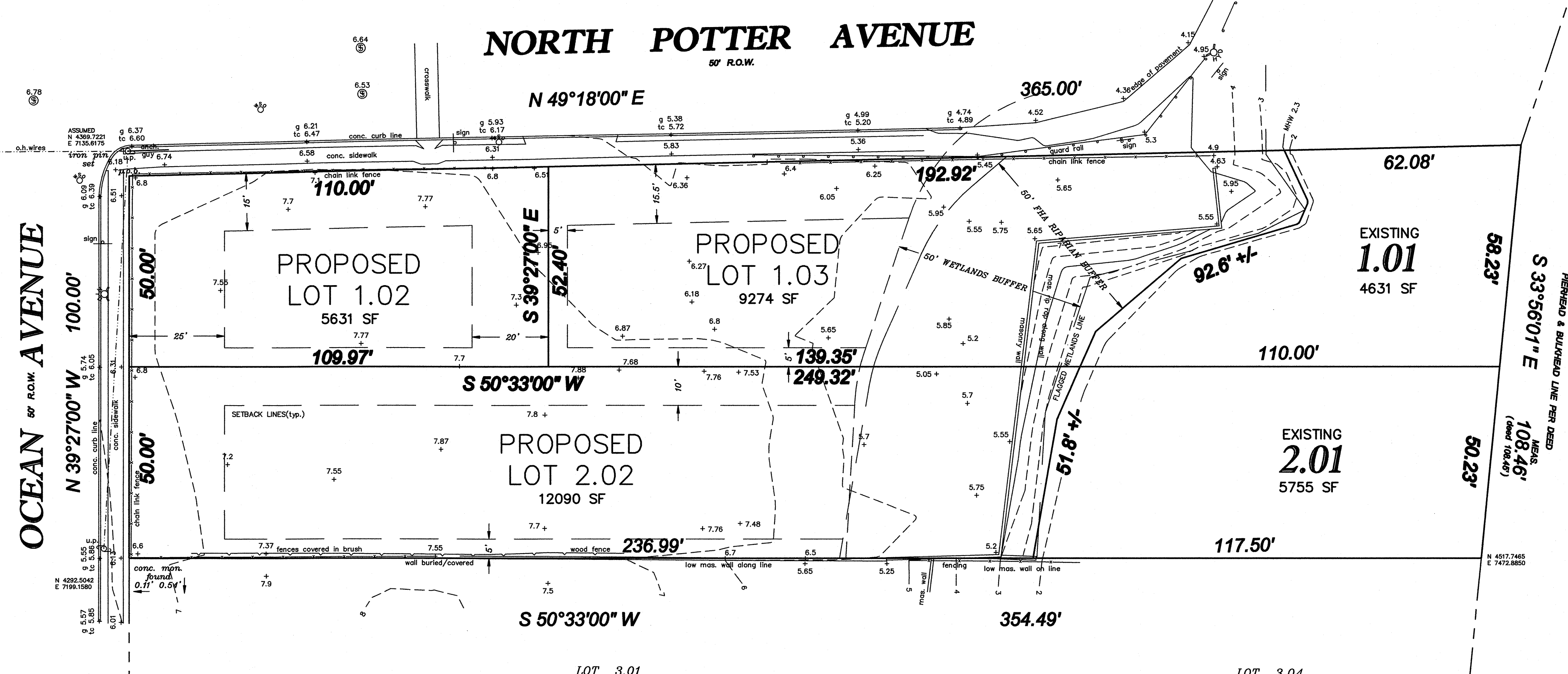
\* variance



**AREA MAP**  
1" = 175'

**PROPERTY OWNERS WITHIN 200'**

BLDG	LOT	Q.A.	Q.A.	PROPERTY OWNER	PROPERTY LOCATION	ASST 1	ASST 2
157	1.01	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
157	1.06	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
157	3	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
157	4.01	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
157	4.02	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
157	4.03	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
157	4.04	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
157	5	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.01	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.02	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.03	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.04	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.05	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.06	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.07	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.08	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.09	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.10	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.11	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.12	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.13	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.14	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.15	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.16	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.17	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.18	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.19	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.20	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.21	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.22	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.23	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.24	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.25	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.26	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.27	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.28	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.29	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.30	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.31	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.32	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.33	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.34	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.35	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.36	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.37	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.38	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.39	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.40	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.41	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.42	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.43	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.44	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.45	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.46	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.47	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.48	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.49	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.50	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.51	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.52	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.53	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.54	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.55	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.56	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.57	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.58	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.59	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.60	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.61	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.62	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.63	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.64	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.65	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.66	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.67	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.68	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.69	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.70	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.71	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.72	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.73	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.74	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.75	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.76	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.77	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.78	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.79	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.80	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.81	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.82	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.83	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.84	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.85	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.86	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.87	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.88	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.89	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.90	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.91	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.92	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.93	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.94	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.95	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.96	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.97	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.98	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	9.99	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		
158	10.00	2	2	STOCKTON LAKE BLVD	66 POTTER AVE N		



**\*\*\* BLOCK 162 \*\*\***

CLASSIFIED AND APPROVED AS A MAJOR SUBDIVISION BY THE PLANNING BOARD OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_

CHAIRPERSON \_\_\_\_\_

SECRETARY \_\_\_\_\_

BOARD ENGINEER \_\_\_\_\_

THIS PLAT MUST BE FILED IN THE OFFICE OF THE COUNTY CLERK ON OR BEFORE \_\_\_\_\_

WHICH DATE IS 95 DAYS FROM THE DATE OF FINAL APPROVAL AS A MAJOR SUBDIVISION.

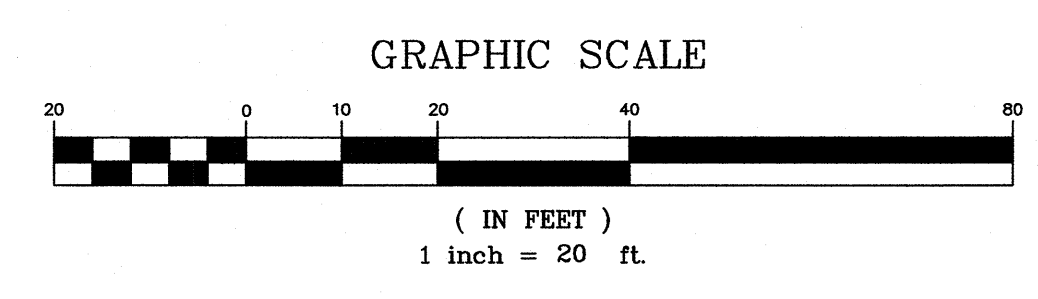
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 04/22 MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS AS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE PROVISIONS OF "THE MAP FILING LAW" AND THAT THE OUTBOUND MONUMENTS AS SHOWN HAVE BEEN FOUND OR SET. SURVEY PRECISION GREATER THAN 1:10,000.

*Paul K. Lynch*  
PAUL K. LYNCH LICENSED PROFESSIONAL LAND SURVEYOR 35855 12-09-22 DATE

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FILING LAW" RESOLUTION OF APPROVAL AND THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

MUNICIPAL ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

- NOTES:
- 1) THE PROPERTY IN QUESTION IS SHOWN ON TAX MAP SHEET 25.
  - 2) TOTAL TRACT AREA OF PROPOSED SUBDIVISION IS 0.858 Ac..
  - 3) THE APPLICANT IS NORTH POTTER PARTNERS LLC 66 NORTH POTTER AVE. MANASQUAN, N.J. 08736
  - 4) THE RECORD OWNER IS NORTH POTTER PARTNERS LLC 66 NORTH POTTER AVE. MANASQUAN, N.J. 08736
  - 5) THE PROPERTY IN QUESTION IS LOCATED IN THE R-2 ONE FAMILY RESIDENTIAL ZONE.
  - 6) EACH LOT TO BE SERVICED BY SEPARATE WATER & SEWER LINES
  - 7) THE ELEVATIONS & CONTOURS SHOWN HEREON ARE REFERENCED TO N.A.V.D. 1988
  - 8) TRACT IS LOCATED IN ZONE AR(BFE-9) & AR(BFE-10) PER FIRM 34025C04560 DATED 1-31-2014



THE UNDERSIGNED DULY ORGANIZED COMPANY HEREBY DECLARES THAT IT IS THE OWNER OF THE LANDS DELINEATED HEREON AND HEREBY CONSENTS TO THE FILING OF THIS MAP IN THE MONMOUTH COUNTY CLERK'S OFFICE.

NORTH POTTER PARTNERS LLC DATE \_\_\_\_\_ ADDRESS \_\_\_\_\_

BE IT REMEMBERED THAT ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ BEFORE ME, A NOTARY PUBLIC OF NEW JERSEY,

PERSONALLY APPEARED \_\_\_\_\_ WHO I AM SATISFIED IS THE PERSON WHO HAS SIGNED THE ABOVE CONSENT.

NOTARY PUBLIC OF NEW JERSEY \_\_\_\_\_

**MAJOR SUBDIVISION**  
FOR  
**NORTH POTTER PARTNERS LLC**

SITUATE IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY KNOWN AND DESIGNATED AS LOT 1, 1.01, 2 & 2.01 BLOCK 162 AS SHOWN ON THE TAX MAP OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

**PAUL K. LYNCH**  
LAND SURVEYOR, BOUNDARY CONSULTANT  
P.O. BOX 1489 WALL, N.J. 07719 (732) 651-4038 PKLYNCH18@GMAIL.COM

*Paul K. Lynch*  
NEW JERSEY PROFESSIONAL LAND SURVEYOR  
LICENSE No. 35855

Date: 12-09-22  
Scale: 1" = 20'  
FB: 116018  
File: 571022162-1  
Drawing: D491.157